



HISTORIC BEGINNINGS • 1847

Farmington City Planning Commission

May 05, 2022



FARMINGTON CITY

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AMY SHUMWAY
CITY COUNCIL

SHANE PACE
CITY MANAGER

Thursday May 05, 2022

Public Meeting - Farmington City Hall
160 S. Main Street, Farmington, Utah.

Study Session: 6:00 p.m./GSBS Small Area Master Plan

Regular Session: 7:00 p.m.

Farmington City Planning Commission meetings, including this meeting, are open to the public. If you wish to view the regular session online, the link to the live hearings and to comment electronically can be found on the Farmington City website at www.farmington.utah.gov. If you wish to email a comment for any of the listed public hearings, you may do so at crowe@farmington.utah.gov by 5 p.m. on the day listed above.

SUMMARY ACTION

1. Approval of 04.14.2022 Minutes
2. Symphony Homes – Applicant is requesting a Final Subdivision approval for the proposed Hidden Farm Estates Subdivision, located at approximately 800 W Shepard Park Rd. (9.13 acres). (S-18-21)
3. FSC Development LLC – Applicant is requesting a Final Subdivision approval for the proposed Farmington Station Center Townhomes Subdivision, located at approximately 1525 W Burke Ln. (17.60 acres). (S-12-21)
4. Farmington City (Public Hearing) – Applicant is requesting a recommendation to amend/include additional text to the City's Zoning Ordinance to modify Title 11, Zoning Regulations, to clarify what is considered a 'Kennel' and where/when it is permitted. (ZT-4-22)
5. Laurel Cahoon (Public Hearing) – Applicant is requesting a recommendation of a Metes and Bounds (lot-split) Subdivision located at 877 N Main St (0.47 acres). (S-12-22)
6. Phil Holland (Public Hearing) – Applicant is requesting preliminary plat approval and a recommendation for Preliminary PUD Master Plan approval, for the proposed Juniper Estates Subdivision located at 400 S 650 W. (3.15 acres) (S-1-22)

SUBDIVISION, SITE PLAN, PROJECT MASTER PLAN, PRELIMINARY PUD MASTER PLAN, AND ZONE CHANGE APPLICATIONS

7. Travis Tanner – Applicant is requesting a recommendation for a zone change from OTR (Original Townsite Residential) to BR (Business Residential), on the back half of the property (approx. 6,750 sq. ft.), located at 174 E State Street (0.31 acres). (Z-3-22)
8. Jake Kilgore/Telt Properties LLC (Public Hearing) – Applicant is requesting schematic site plan approval and a recommendation for a Preliminary PUD Master Plan approval, for the proposed One Solar project, located at 819 N 425 W (2.01 acres). (SP-4-22)
9. Ensign Financial Group LC (Public Hearing) – Applicant is requesting a recommendation for a PUD (Planned Unit Development) for the proposed Complete Natural Projects project, located at 875 N Lagoon Dr. (1.86 acres). (S-11-22)
10. H Group Burke LLC (Public Hearing) – Applicant is requesting a recommendation for a Schematic Subdivision, PMP/DA (Project Master Plan/Development Agreement), and approval of a Schematic Site Plan for the proposed Burke Lane project, located at approximately 1500 Burke Ln. (2.02 acres). (S-10-22, PMP-1-22, SP-5-22)

OTHER BUSINESS

11. Miscellaneous, correspondence, etc.
 - a. City Council Report from May 3, 2022.
 - b. Zone Text modification for Chapter 11-10 (temporary lot coverage) discussion.
 - c. The Preserve sidewalk.
 - d. Other.

Please Note: Planning Commission applications may be tabled by the Commission if: 1. Additional information is needed in order to act on the item; OR 2. If the Planning Commission feels, there are unresolved issues that may need additional attention before the Commission is ready to make a motion. No agenda item will begin after 10:00 p.m. without a unanimous vote of the Commissioners. The Commission may carry over Agenda items, scheduled late in the evening and not heard to the next regularly scheduled meeting.

Posted on Friday, April 29, 2022 Carly Rowe, Planning Secretary

FARMINGTON CITY
PLANNING COMMISSION

April 14, 2022

WORK SESSION

Present: Chair Rulon Homer; Vice Chair Erin Christensen; Commissioners Larry Steinhorst, John David Mortensen, Mike Plaizier, Samuel Barlow and Tyler Turner. **Staff:** Community Development Director David Petersen, Assistant Community Development Director Lyle Gibson, City Planner/GIS Specialist Shannon Hansell, and Planning Secretary Carly Rowe.

REGULAR SESSION

Present: Chair Rulon Homer; Vice Chair Erin Christensen; Commissioners Larry Steinhorst, John David Mortensen, Mike Plaizier, Samuel Barlow and Tyler Turner. **Staff:** Community Development Director David Petersen, Assistant Community Development Director Lyle Gibson, City Planner/GIS Specialist Shannon Hansell, and Planning Secretary Carly Rowe.

Chair Rulon Homer opened the meeting at 7:04 PM.

SUMMARY ACTION

Item #1 Minutes

Commissioner Mike Plaizier made a motion to approve the March 17, 2022, minutes. Commissioner Tyler Turner seconded the motion.

Item #2 Amber Shepherd & Steven Frostad (Public Hearing) – Applicant is requesting a special exception approval to exceed the driveway approach maximum on the property located at 1403 S 35 E. on 0.26 acres in the R-2 zone. (M-5-22)

The subject property is a corner lot with a driveway access already established along each frontage. The applicant is working on installing a second driveway on the northwest portion of his property for access to a parking pad on the side of the dwelling. As the property meets the minimum width required for the zone, an additional drive approach is permitted as long as the combined driveway widths meet 30 feet, or a greater number as approved by special exception of the Planning Commission.

The existing driveway on the east side is 16 feet in width; the new driveway is proposed to also be 16 feet in width on the provided plan. As Staff has met on site with the applicant who has staked the property, the new drive pour would be slightly wider. The combined driveway width on the property would be approximately 34 feet. Thus the applicant is seeking a special exception for an additional 4 feet of width for driveways.

The lot is 117 feet in length against 35 East Street and across the street from a property with multiple drive approaches with a total length exceeding 30 feet.

Applicable Ordinances:

11-32-060: ACCESS TO OFF STREET PARKING AND LOADING SPACES:

A. Ingress and Egress: Adequate ingress and egress to all uses shall be provided as follows:

1. Residential driveways shall be not more than twenty feet (20') in width when serving as access to two (2) properly designated spaces, or thirty feet (30') in width when serving as access to three (3) properly designated parking spaces as measured at the front or side corner property line. "Properly designated parking spaces" shall include spaces in a garage, carport or on a parking pad located to the side of a dwelling and not located within the minimum front yard setback. Additional driveway width for access to a rear yard, for more than three (3) properly designated parking spaces, or for multiple-family residential developments, may be reviewed by the planning commission as a special exception. Residential driveways shall be designed at a width which is the minimum necessary to provide adequate access to designated parking spaces.

2. Not more than one driveway for each separate street frontage shall be permitted on lots occupied by a one-family or two-family dwelling, except under the following circumstances:

a. On lots with at least the minimum width required in the zone, one additional driveway may be permitted providing that the sum of the width of both driveways does not exceed the maximum widths specified in subsection A1 of this section;

b. For lots having at least fifty feet (50') of width in excess of the minimum required width, one additional driveway, not exceeding sixteen feet (16') in width, may be permitted.

11-3-045: SPECIAL EXCEPTIONS:

E. Approval Standards: The following standards shall apply to the approval of a special exception:

1. Conditions may be imposed as necessary to prevent or minimize adverse effects upon other property or improvements in the vicinity of the special exception, upon the City as a whole, or upon public facilities and services. These conditions may include, but are not limited to, conditions concerning use, construction, character, location, landscaping, screening, parking and other matters relating to the purposes and objectives of this title. Such conditions shall be expressly set forth in the motion authorizing the special exception.

2. The Planning Commission shall not authorize a special exception unless the evidence presented establishes the proposed special exception:

- a. Will not be detrimental to the health, safety or general welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity;
- b. Will not create unreasonable traffic hazards;
- c. Is located on a lot or parcel of sufficient size to accommodate the special exception.

Rulon Homer opened the public hearing at 7:06 PM for items 2, 3, and 4. There was no comment regarding this item specifically.

MOTION:

Commissioner **Erin Christensen** made a motion that the Planning Commission approve the special exception allowing an additional 5 feet of width to the total allowed driveway width on the western property line of the property at 1403 S. 35 E.

Findings for Approval 1a-c:

- 1. The proposal meets the standards for consideration of a special exception in that it:
 - a. Will not be detrimental to the health, safety or general welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity;
 - b. Will not create unreasonable traffic hazards (as a standard driveway separation of 12 feet will remain in place).
 - c. Is located on a lot or parcel of sufficient size to accommodate the special exception.

Supplemental information 1-2:

- 1. Vicinity Map
- 2. Site Plan

Commissioner **Larry Steinhorst** seconded the motion, which was unanimously approved.

Item #3 Lonnie Bullard (Public Hearing) – Applicant is requesting a special exception approval to exceed the building height requirement for an accessory building located on the property at 539 W. Oakwood Place on 0.79 acres in the LR-F (Large Residential Foothill) zone. (M-6-22)

The applicant is requesting a special exception for an accessory building height for a proposed pole barn. The LR-F zone specifies that accessory buildings shall not exceed 15 feet in height. This proposed building is approximately 18 feet in height.

Rulon Homer opened the public hearing for items 2, 3 and 4 after item 4 was reviewed; there was no comment regarding this item specifically.

MOTION:

Tyler Turner made a motion that the Planning Commission approve the special exception allowing the accessory building at 539 West Oakwood Place to exceed the maximum of 15 feet in the zone, subject to all applicable Farmington City standards and ordinances.

Findings for Approval 1-4:

1. Additional building height is compatible with the use of the property.
2. The additional building height would not be detrimental to the health and safety of neighboring properties.
3. The building will not create unreasonable traffic hazards.
4. The building is located on a parcel of sufficient size to accommodate the special exception.

Commissioner **Samuel Barlow** seconded the motion, which was unanimously approved.

Item #4 Redevelopment Agency of Farmington City (Public Hearing) – Applicant is requesting a recommendation for a zone change from A (Agriculture) to OMU (Office Mixed Use) on the property located at 580 N 1525 W. (2.02 acres) (Z-2-22)

The Planning Commission and Farmington City Council have previously approved a Project Master Plan and Preliminary Plat for the Farmington Station Townhomes on the south side of Burke Lane just east of 1525 West. As part of the review of this project, the City has already entered into an agreement with the developer, FSC Development, to exchange properties to enhance both the park to the south and the development itself.

As the approvals move forward for the townhome development, the property that that City has agreed to trade to the developer needs to be zoned appropriately for the intended use. The existing Agriculture zoning designation is effectively a holding zone. The proposed OMU Zone matches the surrounding properties to the north and east, matches the General Plan designation, and will appropriately accommodate the anticipated development.

The OMU zoning district is regulated by Farmington City Code 11-18 – Mixed Use Districts and, in the case of this property, is regulated by an existing development agreement under 11-18-140.

Rulon Homer opened the public hearing for items 2, 3 and 4 after item 4 was reviewed.

Mike Flanders (1717 W. 600 N., Farmington, Utah) has been a Farmington resident for 40 years and wanted to speak to Item #4 (rezone of the RDA property) to get more information. He mentioned that it wasn't long ago that the City approached his neighbor, Deb Turpin, to purchase her log home. In the process, they told her about taking the "farm street" of 1525 West and turning it into a four- and possibly six-lane road to accommodate future growth. This expansion was set to take out Turpin's home as large multi-level apartment and office buildings were developed. **Flanders** talked to his neighbors and friends about this future development, which seemed to put a thorn in the City's side. His family is in negotiations to purchase a bit of this property, a useless triangle that would go well with the train park. He is requesting the sliver which will remain on the west side of the new 1525 West Street maintain the agricultural zoning. Taking the property from OMU back to Agriculture would be difficult. He intends to graze his horses on it. Regarding the new development north of Park Lane and east of the trail system, the City has offered the stipulation to take a tiered-approach. His home was one of the first west of the freeway, and he wasn't offered the same consideration and respect, as these buildings will be right across the street from him. He has tried to stay involved in the development process of this project.

Rulon Homer closed the public hearing at 7:16 PM.

Assistant Community Development Director **Lyle Gibson** said something could be drafted so that the triangle piece of land could remain zoned Agriculture. The recommendation from Staff is the Planning Commission approve the rezone without changing the west side of Commerce Drive, and a legal description would be provided at the City Council level. The triangle piece is a pretty small remnant sliver.

Erin Christensen said she wasn't opposed to the property remaining zoned Agricultural. It would make sense to add that as a recommendation that could be looked at closer in the future.

MOTION:

Erin Christensen made a motion that the Planning Commission forward a favorable recommendation to the City Council to approve

the rezone of the subject property from the A to the OMU zoning district, with a recommendation to consider the triangle parcel west of the new road be left as A zoning, and for Staff to prepare appropriate language with legal description to identify that piece.

Steinhorst seconded the motion, which was unanimously approved.

CONDITIONAL USE PERMIT

Item #5 Scott Group LLC/Solomon Weaver (Public Hearing) – Applicant is requesting a Conditional Use Permit approval for an addition of storage units on the property located at 1052 S. 325 W. (0.95 acres) in the AE (Agricultural Estates) zone. (C-6-22)

The Stock N' Lock Storage units currently on site were approved in 2005 and have been built in accordance with the original approvals. The applicant owns additional property directly adjacent to the existing units to the north where they desire to expand their operation by adding additional storage units. The property is already zoned Light Manufacturing and Business (LM&B), which allows for self-storage by conditional use. While the use has previously been approved, FCC 11-8-060 states that a conditional use shall not be enlarged, changed, extended, increased in intensity or relocated unless a new conditional use application is made and approved by the Planning Commission.

The proposed expansion would include units along the west and north property line with additional units on the interior. The new units are proposed to be of the same construction style as the existing units to match the materials and colors currently found on site. While the use of property to the north and west includes existing dwellings, the zoning of the surrounding properties is Agricultural Estates (AE) and LM&B. Per FCC 11-26-070, there are no yard requirements unless abutting a residential zone boundary. While FCC 11-7-070 includes screening and separation requirements between residential property lines and parking areas or roads, it is the opinion of Staff in reading the code and based partly on the existing storage unit layout, that this proposal follows required screening provisions. While a final site plan review to be completed by Staff is pending the direction of the Planning Commission, initial reviews indicate that the proposal meets the minimum requirements allowed in the applicable zoning district.

The height of the storage units on the submitted plans is 10 feet except for the western-most units, which are 14 feet in height. While the total height limit permitted in the zone is 40 feet, the Planning Commission may consider a reduction of the taller units to 10 feet in height to match the existing units along the western property line based on the standard of compatibility.

In consideration of the Conditional Use Permit, the Planning Commission should look at the proposal as it relates to the City's conditional use standards as follows, which can be found in the Staff report.

11-8-050: CONDITIONAL USE STANDARDS

11-7-070: STANDARDS FOR CONSTRUCTION OF MULTIPLE-FAMILY RESIDENTIAL, COMMERCIAL, COMMERCIAL RECREATION OR INDUSTRIAL CONDITIONAL USES, OR PERMITTED USES ON AN UNDEVELOPED SITE

11-7-080: OFF SITE IMPROVEMENTS AND PUBLIC STREETS

11-26-070: YARD AND LOT REGULATIONS

11-26-080: OTHER REGULATIONS

Contractor **Solomon Weaver** (127 W. 300 S., Bountiful, Utah) addressed the Commission. They plan to match the height of the units on the west end per their conversation with the neighbors. There are two exists and lighting will stay the same. **Dave Van Otten** is the neighbor to the rear of the property, and he has some concerns about height; he wants it to stay at 10 feet tall instead of 14 feet tall as proposed. **Tyler Turner** asked if it will look the same as the existing storage units. **Weaver** answered yes, it will be the same block and color. Additional signage is not needed, and the street view will be the same. No lighting will face the homes, but will face the interior. The neighbors will just be facing more cinderblock wall, similar to what they already face.

Christensen asked about fire code, with building done so close to the property line. **Gibson** said if the Commission recommends the site plan, Staff will go through fine-tuned details to get to a building permit, which requires generally having a certain fire rating up to 6 feet of a property line. He will make sure to implement anything needed through building code.

Rulon Homer opened the public hearing at 7:27 PM.

Dave Van Otten (1065 S. 425 W., Farmington, Utah) is the neighbor directly west of the proposed project. If they drop the building height from 14 feet 8 inches to 10 feet, that would solve most of his issues. He also wants the drainage to drain toward their own property.

Rulon Homer closed the public hearing at 7:28 PM.

Gibson mentioned the trail connection just west of this project due to the West Davis Corridor. There is no sidewalk along 325 West near this property, and it would be appropriate to request sidewalk be installed, as pedestrian connections may be needed to the lots north as they develop in the future. Based on new ordinances passed by the Council, this project would need water-efficient landscaping rather than sod.

MOTION

Commissioner **John David Mortensen** made a motion that the Planning Commission approve the conditional use permit for the additional storage units at the subject address with the following Conditions 1-4:

1. The height of buildings shall be reduced to match the existing height of units along the western property line being 10 feet. The height of the storage units may increase up to 15 ft. in height within 200 feet of the eastern property line (roughly the front half of the property) being the 325 W. right of way.
2. Sidewalk shall be installed along the 325 W. right of way in front of the existing and newly added units.
3. Installed Landscaping shall be done in compliance with Farmington City’s Water Wise Landscaping ordinance approved 3/15/2022.
4. A final site plan review and approval shall be completed by Staff, wherein compliance with the conditions set forth by the Planning Commission and all other applicable standards, ordinances, and regulations shall be verified and approved prior to construction.

Findings for Approval 1-4:

1. The zoning in place for the applicable property allows for the requested use.
2. The orientation and design of the proposed storage units are compatible with the existing storage units and create screening at the property line of the site’s operation and lighting impacts.
3. With the proposed condition to limit height on the western portion of the site, compatibility with surrounding properties and uses is achieved.
4. The condition to have the sidewalk installed will meet the requirements of FCC 11-7-080 and start creating connectivity along the 325 W right-of-way with the trail network to be installed with the upcoming West Davis Corridor trail that will run immediately south of Stock N’ Lock Storage.

Erin Christensen seconded the motion, which was unanimously approved.

SUBDIVISION, SITE PLAN, PROJECT MASTER PLAN AND ZONING APPLICATIONS

Item #6 Farmington City – Applicant is requesting a recommendation of a request to adopt a small area master plan for the Farmington Station Area, which is west of I-15 and east of the D&RGW Rail Trail and sitting roughly between Haight Creek and Farmington Creek (Approximately 548 acres), as an element of the Farmington City General Plan. (MP-1-22)

***The applicant pulled this item from the agenda the day of, which was too late of notice for posting a public notice on the City website. The item will return to a future agenda, after a public open house hosted by the City Council. ***

Item #7 Vernon Lee Maxwell (Public Hearing) – Applicant is requesting recommendation for a schematic subdivision approval for the proposed Steed Creek Phase 3 subdivision, on 3.27 acres of property, at approximately 397 S. 10 W. in the LR (Large Residential) zone and approval for a special exception related to driveway access. (S-5-22)

Gibson introduced this agenda item. There are three existing homes that all front the cul-de-sac, and the flag lot proposal is to make way for one more building pad. Lot 302 is the new lot. Community Development Director **Dave Petersen** said there are five parcels that are legal. A series of boundary adjustments are proposed. Staff has the authority to do boundary adjustments over the counter

without going to the Commission or City Council. Each of the boundary adjustments makes sense and makes things better. The sixth flag lot is what makes it necessary to come to the Commission and City Council. All the lots are pretty sizeable, ranging from half-acre to 2.4 acres. To keep that feel, the stem is longer than it should be. The applicant doesn't want to compromise the character of the area. Because there are a lot of movable parts, the applicant wants to simplify things by re-platting these parcels in another new plat. The applicant is also asking for a special exception to share driveway access. He can go over only one lot for access, and that is what he is requesting. Staff thinks this is a reasonable request. As for the flag lot dimensions, the stem length is 248 feet, well beyond the 150-foot maximum. Staff thinks it makes sense because of the large lots. He is asking for a narrow lot width as well. The narrow stem width doesn't collide with fire code, but he wants it to keep more space in his large lot. The ordinance doesn't allow for adjusting a flag lot, but driveway access does. Staff feels the more prudent route is the proposed Option B, but either way, the applicant gets to the desired finish line.

Subdivision: The vicinity map and Steed Creek Estates Phase III schematic plan show that the applicant is seeking approval for one additional lot, a flag lot, but at the same time adjusting the boundaries of five existing lots/parcels---in four steps. A summary of the request is set forth in the table below:

	Lots/Parcels	Action
New Lot		
1.	Lot 301, Steed Creek Estates Phase 3	Create a flag lot
Existing		
1.	Lot 201, Steed Creek Estates Phase 2, 394 S. 10 W.	Adjust east boundary with Lot 6, Steed Creek Estates, 397 S. 10 W.
2.	Parcel 07-046-0035	Adjust boundary resulting in Parcel A, Steed Creek Estates Phase 3
3.	Parcel 07-034-0110	Adjust Boundary with Lot 6, Steed Creek Estates, and create Parcel B, Steed Creek Estates Phase 3
4.	Lot 5 Steed Creek Estates, 407 S. 10 W.	Adjust east boundary with Lot 6, Steed Creek Estates, 397 S. 10 W.

City ordinances allow Staff to review and approve boundary adjustments, but not flag lots---which must be recommended by the Planning Commission and considered for approval by the City Council.

Plat Amendment: As illustrated in the previous table, the applicant's request consists of many parts; subsequently, he is proposing a plat amendment to show and implement every proposed change in one document, which document will be recorded in the office of the Davis County Recorder.

Driveway Access: Rather than providing two driveways side by side, the applicant is requesting a special exception to allow the owners of the flag lot (if approved) to share an existing driveway on the proposed Lot 303. Section 11-32-060 A. 5. states:

Driveways shall have direct access to a public street for a building lot. Subject to satisfaction of the provisions of section 11-3-045 of this title and the grant of a special exception, direct access for a building lot may include access over one adjacent building lot, provided both building lots have full frontage on a public street, an access easement has been recorded acceptable to the city, and the full face of any dwelling unit located on both building lots fronts or is fully exposed to the public street.

Flag Lot Dimensions: The length and width of the flag lot stem do not meet City ordinances. The Planning Commission may resolve this, if it chooses to do so, by approving one of the two alternative motions below. Section 12-7-030 J.

Flag Lots: Flag lots may be approved by the planning commission and the city council and are prohibited except to reasonably utilize an irregularly shaped parcel, to reasonably utilize land with severe topography, to

provide for the protection of significant natural or environmentally sensitive areas, or to allow a property owner reasonable use and benefit of a parcel of land not otherwise developable (Ord. 2016-07, 2-16-2016).

1. General Requirements: The creation of a flag lot is a subdivision; therefore, all applicable subdivision ordinances, standards and regulations apply. Flag lots are for single-family residential dwellings only and are prohibited if the proposed flag lot will increase the number of access points onto a major thoroughfare (Ord. 2016-23, 2-16-2016).

2. Design Requirements: The design requirements for a flag lot are as follows:

- a. A flag lot shall be comprised of a stem portion and a flag portion.
- b. The stem portion must be contiguous to a dedicated public street.
- c. All buildings can be placed on the flag portion only.
- d. The front yard shall be considered one of the two (2) sides of the flag portion that adjoins the stem and all buildings must face the front yard.
- e. A flag lot must comply with all requirements, standards and ordinances as determined by the underlying zone district in which it is located. This includes setbacks, building height, accessory buildings, minimum lot size, etc.
- f. Minimum lot size calculations exclude the stem and only take the flag portion of the lot into consideration.
- g. The stem shall be at least twenty-eight feet (28') wide and no longer than one hundred fifty feet (150') long.
- h. The stem shall service one lot only.
- i. No more than two (2) flag lots shall be allowed in a subdivision.
- j. For back to back flag lots, a reduction of each stem to twenty feet (20') wide is permitted where the stems abut one another.
- k. The access drive shall be at least twenty feet (20') wide and no greater than a fifteen percent (15%) grade. The drive shall be paved with a hard surface, such as asphalt or concrete, and conform to all applicable fire code regulations, including access to fire hydrants, emergency access and turnarounds.
- l. The access drive must have a minimum of four feet (4') wide landscaped yard along both sides.
- m. All utilities and related services (including easements) shall be provided to the flag lot in accordance with the applicable regulations and ordinances adopted by the city (Ord. 2016-07, 2-16-2016).

Applicant **Lee Maxwell** (397 S. 10 W., Farmington, Utah) owns Steed Creek Lot 6 and a two-acre parcel immediately to the east of Lot 6. He would like to make some boundary adjustments mostly in his Lot 6 and the two acres, except for Lot 304, which is a minor adjustment. He would like to create a building lot for his son, who wants to build a home back there. The flag lot stem would have access to the cul-de-sac however it would not include a driveway, it serves as a way to get utilities to the back lot. For actual access he wishes to share the use of the existing driveway. His barn sits on part of the property, and the eastern portion is intended to be left as pasture. All the boundary adjustments are in the same submittal. He proposes to swap ground with Lot 304, as his swing set is on Lot 304, and the owner of Lot 304 waters and takes care of part of his property. Another of his sons lives on Lot 301, and he intends to give a portion of his garden to his son.

Rulon Homer opened the public hearing at 7:45 PM and closed, due to no comments.

MOTION

Tyler Turner made a motion that the Planning Commission recommend the City Council approve the Steed Creek Estates Phase 3 subdivision schematic plan/plat amendment, including the flag lot, and that the Commission approve a special exception allowing access to Lot 302 across Lot 303 as shown on the schematic plan, subject to all applicable Farmington City ordinances and development standards and the following:

1. The special exception for the driveway shall not become effective until such time as the City Council approves the schematic subdivision plan/plat amendment (including the flag lot), and approval of the final plat by the Planning Commission.
2. Section 12-7-030 B. of the Subdivision Ordinance states in part "Private streets shall not be permitted unless the planning commission finds that the most logical development of the land requires that lots be created which are served by a private street or other means of access, and makes such findings in writing with the reasons stated therein." The Planning Commission finds that the longer (248 feet vs. 150 feet) and narrower (20 feet vs. 28 feet) flag lot stem is an acceptable "other means of access" as supported by the findings.
3. The applicant must meet all requirements of the City's DRC (Development Review Committee), including the Fire Department.
4. The applicant must prepare a reciprocal access and maintenance agreement, acceptable to the City, and record the same, for the shared driveway access for Lots 302 and 303.

Findings for Approval 1-4:

1. Due to the number of boundary adjustments, the recordation of an amended plat is a good method to provide a cleaner subdivision of record, which contains all the necessary easements, notes, etc. for the benefit and of existing and future property owners.
2. Incorporating an existing un-platted parcel (07-034-0110) as a platted parcel aids other property owner within the proposed Steed Creek Subdivision Phase 3 because any development of a possible future dwelling on either Parcels A or B is subject to a public process and cannot occur without approval of another plat amendment by the City and input from owners, which amended plat must show access and identify these areas as "Lots" not "Parcels."
3. A special exception for the shared driveway access is warranted because two long driveways in close proximity to each other may detract from the ambiance of the pastoral setting of this subdivision near Steed Creek and Woodland Park. Moreover, the long flag lot stem provides for a larger Lot 301, which is consistent with the lot sizes characterized by this area.
4. Oversight by the DRC, including the Fire Department, ensures acceptable implementation of necessary improvements and increased public safety.

Mike Plaizier seconded the motion, which was unanimously approved.

Item #8 TFC Clark Lane, LLC/Terra Form Companies, LLC (Public Hearing) – Applicant is requesting recommendation for a schematic subdivision approval for the proposed Farmington Retail subdivision on 1.75 acres of property, at approximately 1100 W. Clark Lane; in addition, the applicant is requesting a schematic concept site plan approval, special exception approval for a drive-up window, and a recommendation for a zone change from GMU (General Mixed Use) to RMU (Residential Mixed Use) (S-8-22, SP-3-22, M-7-22, Z-5-22)

City Planner/GIS Specialist **Shannon Hansell** introduced this agenda item, which is approval of schematic subdivision, special exception, and zone change for three restaurants and a multi-tenant building. Staff finds that this application fits the General Plan designation and the proposed use is compatible with the area. The zone itself is already present in the area and is not out of character.

The applicant is proposing a three-building retail subdivision on the northwest corner of the Clark Lane and 100 West roundabouts. The GMU zone has a wide variety of uses including dining, but it prohibits the installation of drive-up windows for said dining. As it stands, the site plan currently has drive-up windows located on Lot 1 and 2. The applicant is requesting a zone change to Residential Mixed Use, which allows drive-up windows, subject to a special exception review by the Planning Commission (11-18-050). With advice from the City, the applicant is requesting a zone change rather than a text amendment in order to preserve the mixed use permitted uses as they are, thereby preserving the nature of the mixed-use district as a whole.

If the zone change is approved and enabled by the City Council, the drive-up window special exception, if approved by the Planning Commission, will be enacted as well. If the City Council does not approve the zone change, the special exception, if approved by the Planning Commission, will not apply. The zone change and the special exception are tied together. The applicant may still pursue the subdivision of the parcel into three lots regardless of the zone change. The three-lot subdivision shares access with the surrounding parcels.

Applicant **Elliott Smith** (6770 S. 900 E., Salt Lake City, Utah), one of the managing members of Terra Form Companies, a retail development company, said this was presented in a past work meeting. The company now owns the property. As pointed out last fall, the drive thru windows were oriented so as not to be visible from the street. He now has signed leases with Chipotle and Dutch Bros. They plan to do landscaped berming. They put a lot of thought into this, as it is a bit backward from what is normally seen. It minimizes headlights going out onto the roads. The stacking provides for 15 cars for Dutch Bros. For Chipotle, the window is for food that has been ordered from the app to be picked up, and is not a normal drive thru with a menu board. This will minimize wait time. The stacking is interior and minimizes spilling out onto the roadway. They are still working on tenants for the multi-tenant building, which does not have a drive-thru. Shared access was moved to the property to the west, to the center of the property on the west lot line. This will align with the office development going in to the west. Originally the access was contemplated further to the north. They can be flexible with the cross-access point, to align well with the neighboring property. Directly west of Lot 2 is a trash enclosure, which will be aluminum or steel painted to match the material for the building. Chipotle has in-house dining while Dutch Bros does not. Dutch Bros does have a pedestrian walk-up area. The space for 10 cars to stack in the Chipotle drive thru is more than enough because it is more of a pick-lane than a drive thru. It is for orders that have already been placed and prepared, not to look at a menu and wait for the food to be made. This will be among the handful of new prototypes called the "Chipot-lane."

Rulon Homer opened the public hearing at 8:01 PM.

Emily (no last name or address provided), via Zoom, questioned how tall the buildings are. **Hansell** answered that they cannot exceed a typical two-story building height of 27 feet. The Avenues across the street are three stories tall. **Emily** also asked about blocking off all access off 1100 West (Clark Lane). She is worried about the increase of traffic on nearby residential streets. **Gibson** said it currently does show access off Clark Lane. The City may require that be open for Emergency Services and traffic reasons.

Rulon Homer closed the public hearing at 8:04 PM.

Samuel Barlow asked if Clark Lane and Park Lane would connect at one point; **Gibson** said yes, on the west end, but he is not sure on the time frame. **John David Mortensen** questioned the zoning again, and said he wants some kind of conditional zoning on this so it doesn't end up going residential. Conditional zoning seems bulletproof compared to other options. **Christensen** asked if there was anything besides residential in that zone that the City doesn't want in the future, because you never know when things will change.

Gibson replied that conditional zoning would run with the land. It could also be that the zone doesn't take effect until the site plan is approved. In that scenario, after many years Chipotle could be bulldozed, then anything in that zone would be allowed. The Commission could look at the uses and strike those that would be permitted. **Petersen** said it could be effective along with the building permit. **Hansell** said that high density residential is not permitted in the zone.

MOTION

John David Mortensen made a motion that the Planning Commission approve the special exception allowing drive-up windows as part of the Farmington Retail site plan; as well as recommend the schematic subdivision plan and zone change from GMU to RMU to the City Council for approval with conditional zoning that the site be developed for commercial use, not residential use; all subject to any applicable Farmington City development standards and ordinances.

Findings for Approval 1-5:

1. The RMU zone is characteristic of, and compatible with, the surrounding areas.
2. The zone change does not create any substantive change to the zoning ordinance, and preserves the intent of the GMU zone.
3. The applicant may pursue a restaurant use regardless of the RMU or GMU designation of the site, but only the RMU zone allows, with exception, drive-up windows.
4. The subdivision schematic plan allows for the site plan to follow the mixed-use form-based code, as shown on the site plan.

5. The uses proposed would bring dining opportunities to events on the County Fairgrounds.

Samuel Barlow seconded the motion, which was unanimously approved.

Item #9 Travis Tanner (Public Hearing) – Applicant is requesting a recommendation for a zone change from OTR (Original Townsite Residential) to BR (Business Residential), on the back half of the property (approx. 6,750 sq. ft.), located at 174 E. State Street (0.31 acres). (Z-3-22)

Gibson presented this agenda item. The subject property is the deepest lot along the south side of State Street between Highway 106 as it bends south and 200 East Street. The owners are ultimately interested in dividing their property such that the existing home along State Street remains on a smaller lot, while the back portion of the property could be sold at some point for future development. It is about a third of an acre, with a deep rear yard. Based on the existing lot width and available access, the most likely scenario for development of this property would be to have adjacent property owners to the east or west combine it with their property.

While the requested rezone seems to be consistent with a gap in the boundary of the BR zoning district in this area, there are some nuances to understand in consideration of the rezone. The applicant's property contains a total of 13,503 square feet. The existing OTR zone has a minimum lot size of 10,000 sq. ft., and the requested zone has a minimum lot size for a single-family home of 8,000 square feet. While the subdivision of the property is not currently being requested, understanding how this may happen in the future is relevant. The City would either be setting the grounds for a non-conforming lot or is assuming that only 3,500 – 5,500 square feet of property will be absorbed into another property for future development, as it cannot develop on its own.

Modifying the zone boundary at this point in time would simply put multiple zones over the subject property, creating challenges in administration of zoning regulations as it cannot develop further on its own as requested. It is unknown how the request may benefit future development, as it is not known if there is need or interest to absorb any portion of this property, let alone how much property or in what configuration.

Gibson said there has been discussion with the applicant since the Staff Report was put together that they want to rezone their entire property, not just the back half. The application included a request just for the back half of the property. A change to include the full property would have to be properly noticed before a decision could be made. Staff's recommendation is that it be tabled in order to get a better understanding of the development.

The regulations of the OTR zoning district, which this property is currently part of, can be found in FCC 11-17. It primarily permits single-family residential and agricultural uses. The regulations of the requested BR zoning district can be found in FCC 11-15. This zone allows for some limited commercial and residential uses. A rezone request is a legislative matter to which the Planning Commission provides a recommendation to the City Council. The City has a lot of discretion moving forward.

Nicki Tanner (174 State Street, Farmington, Utah) is the wife of the applicant. She clarified that they want the entire property rezoned from OTR to BR, not just the back half. It was her understanding after a meeting with **Petersen** that the front piece was too small to remain in the OTR. When it was originally purchased, the ground was zoned R-8, and it magically ended up in the OTR later down the road despite their desires to the contrary. The Rock Hill Apartments next to them are in BR, as are the brownstones behind their home with 14 units. **Jessica Bailey's** property to the west at 166 E. State Street is being run as a triplex with three tenants, which the City has been aware of for more than two years without making a change. The property at 188 E. State Street has two separate dwellings being rented out as two separate units. 183 E. was being used as a rental, as well as the apartments across the street. Everything around the applicant's property including a post office and dental office is BR. The applicant wants it rezoned for selling purposes, so it would be more desirable financially. They are trying to sell their home and move out of state.

Gibson said if the Commission is interested in considering the new boundary to be considered for a zone change, the City would need to re-notice it before making a formal decision. It was noticed specifically as the back half of the property, and there was not enough time from the applicant's phone call to notice the change appropriately. It works better technically to zone the whole thing BR, but Staff would like to know what the intentions are for the property in order to control some of the details while there is still legislative control.

Rulon Homer opened the public hearing at 8:26 PM.

Applicant **Travis Tanner** (174 State Street, Farmington, Utah) addressed the Commission. If the property is zoned BR, then the property value increases compared to being in the OTR zone.

Michael Bailey (166 State Street, Farmington, Utah), the neighbor to the west, said they are not in favor of the zone change. The peaceful, historic nature of their property would be harmed by this property becoming a commercial use. His other concern is the property being developed into a large multi-story building.

Rulon Homer closed the public hearing at 8:27 PM.

Mike Plaizier and **Christensen** both agreed that the OTR zone is essentially there to protect the historic nature of State Street. She is not in favor of rezoning the entire property to BR. **Petersen** said an exception to the minimum OTR size is not possible. The only option is to go back to the yield plan, which would require two to six lots.

MOTION

Erin Christensen made a motion to table the requested rezone until a more detailed development proposal is brought before the City Council that demonstrates future use of the desired subdivided property that meets city ordinances.

Findings:

1. Without a development plan by adjacent properties to utilize the land under consideration, the requested rezone does not lend to development or redevelopment of the property that follows current city ordinances.

Mike Plaizier seconded the motion, which was unanimously approved.

Item #10 Ace Athletics Holding LLC (Public Hearing) – Applicant is requesting a recommendation for a zone change from A (Agriculture) to C (Commercial) on the property located at 874 Shirley Rae Drive (2.17 acres) (Z-6-22)

Hansell presented this agenda item. The applicant is proposing a zone change for 2.17 acres from A to C at 874 Shirley Rae Drive. The applicant is requesting this zone change because the current zoning does not allow main buildings, accessory buildings, and other structures to cover more than 25% of the total lot area (11-10-040 C). The parcel contains an indoor tennis facility currently in use, and the owner would like to create additional outdoor courts, with the option to cover these courts with a bubble in the winter months. The proposed bubble would be over 27 feet in height.

Additional outdoor courts do not contribute to the lot coverage standards as they are defined in 11-10-040 C, but the proposed bubble would, as it is a structure. Another reason the applicant is requesting a zone change is due to the maximum building height in the agricultural zones being 27 feet. The requested commercial zone allows more lot coverage and has a maximum building height of 40 feet.

The applicant has suggested that they may be willing to enter into an agreement with the City to restrict any development on the site to uses which are recreational in nature, specifically tennis, so as to prevent any other uses permitted by the Commercial zone, if the City Council approves and enables the zone change.

Staff recommends that the City Council deny this request. Historically, the properties under the development restriction are very low density, and property with agricultural uses and agricultural open spaces. This is part of the General Plan. The zoning around this property is A and AA, which is even less dense at 5 acres. If it went to C, it would be an island.

Applicant **Scott Adamson** (940 Windsor Lane, Bountiful, Utah) is one of the owners of Ace Athletics Holding LLC, a small family business that operates a tennis academy. He was surprised with the Staff not recommending approval of the rezone. Demand has far exceeded their expectations, and a lot of families have their children come to learn tennis. The majority of their classes have wait lists. The logical step is to build additional courts in order to teach additional classes. He is open to all recommendations. There is a lot of demand because there has been good success of teaching life skills. The classes are capped at six students per class, and there are a lot of private lessons with even fewer people. They are willing to change the entrance to Glovers Lane to alleviate

traffic on Shirley Rae Drive. There are eight tennis bubbles on the Wasatch Front, all built in low density residential areas. They fit in seamlessly in that environment. It will be an upgrade for Farmington to have a tennis bubble. He hopes for a way to get this approved however it can be. The applicant is willing to work it out with the City. The tennis courts can be built on the lot, but the bubble covering is at issue.

Hansell said this could be tabled so that Staff could look into other options, perhaps the Light Manufacturing and Business (LM&B) Zone. Staff doesn't have a problem with the use, but Commercial may not be the right zone. If another zone was picked, it would need to be re-noticed.

Rulon Homer opened the public hearing at 8:47 PM.

Leslie Beynon (871 S. Shirley Rae Drive, Farmington, Utah) lives right across the street and said the main question was the parking. She just wanted to ensure she could get out of her home and that children wouldn't be injured. There are a lot of young children in the area, and not a lot of sidewalk, which means pedestrians often have to walk in the road. They sometimes have cars parked in front of their mailbox, which interferes with mail delivery. If cars are parked to the side of their driveway, it is difficult for her to back out. She wonders if this will affect her property taxes. It would be better if the traffic would access Glovers Lane instead.

Guy Byman (875 S. Shirley Rae Drive, Farmington, Utah) owns property across the street. He supports the tennis courts, but does not want to rezone to allow a bubble over 27 feet high, as the height is a concern to the neighbors. They want to see them be successful, but they do want to see more access off of Glovers Lane instead of the residential street of Shirley Rae Drive. They can have additional courts without the zone change.

Jonathan Miller (818 Shirley Rae Drive, Farmington, Utah) lives two houses north and feels as if it's a great program. His only concern is the traffic. He gets on his bike at 5:30 a.m. to get on FrontRunner, and cars nearly take him out as they come into the tennis courts. Lessons there run from 5:30 a.m. until 9:30 p.m., stopping only during school hours. Bright lights shine there all night long, into residents' windows. Increasing courts would mean an increase in traffic. The road is very narrow there and doesn't allow parking. The West Davis Corridor coming through would cut off Shirley Rae Drive. He doesn't see the benefit of a bubble compared to another structure. On 1525 West, there is a bridge but not an interchange. There are very few vehicles in the parking lot, and most of the traffic there is for pick up and drop off purposes.

Casey Bowen (owns property at 1164 W. Glovers Lane, Farmington, Utah, and resides at 196 N. 800 E., Bountiful, Utah) said this being changed to a commercial zoning could encourage other property owners like him to do the same, which would ruin the entire feel of the area. He wants to eventually build a home on his property. It is bad enough that the West Davis Corridor is going in behind his property.

Rulon Homer closed the public hearing at 8:58 PM.

Adamson said there was overflow parking diagrammed on the southeast side of the property. A retaining pond can't be impacted. Parking can be put along the north of the new courts. There is about 10 feet along the back. They plan to add landscaping to the entire area in the future. There is some flexibility on the height of the bubble, and it could be made the same height as the existing building. They want to be good neighbors. The bubble would be up for four months of the year, and it would be down during the spring and summer.

John David Mortensen said the bubble is inconsistent with the neighborhood. He doesn't want to set a precedence of changing something to a Commercial zone. However, he does sympathize with the owner because tennis courts and the building were already approved. It doesn't make sense to look for other zoning that allows the bubble and makes more traffic problems. He also is wondering about adding an entrance on Glovers Lane, as that is already a very congested street as it is.

Dave Petersen said Glovers Lane right now is very narrow at approximately 22 feet. **Homer** said it is congested with people going to the bird refuge and high school, as well as elementary school. It is a messy area at certain times. If it is not tabled, the Commission would have to deny it at this point. The land west of it will be inhabited in the future, with sewer and water being brought in.

Gibson said they have looked at existing options in the ordinance, and there is no other options other than changing the zone. The text of existing ordinances or zones may need to be amended to allow this specific use. The City Council may have other ideas. Another suggestion is a conditional zone, where the zone is changed, but the City would restrict everything they don't want to see.

Christensen said she is on the fence, and traffic flow needs to be addressed either way. She would lean towards denial at this point. **Hansell** said if the zone change was denied, the applicant cannot apply for another zone change to that same zone for another year. The applicant could take a negative Commission recommendation to the City Council, but it probably won't go very far at that level. **Barlow** said height is not the only issue, as percentage of coverage by a structure is also a factor.

Adamson said the height is calculated by slope, and it would be 33 feet when measured that way. Utah building code considers bubbles to be a temporary structure. Farmington's policies say in an agricultural zone, any temporary structure has to be taken down once construction is done. A text change allowing a temporary structure for four months of the year would be helpful.

MOTION

Tyler Turner made a motion that the Planning Commission recommend the City Council deny the application for zone change from A to C.

Findings 1-4:

1. The proposed zone does not align with the City's General Land Use Plan, which designates this area as Development Restricted.
2. The C zone has many permitted uses which are not compatible with the General Plan designation for the area, as well as the surrounding properties, which maintain a rural and agricultural atmosphere.
3. The proposed zone sits south of the City's development restriction elevation (4,218 feet).
4. The proposed zone is south of the West Davis Corridor, but does not sit near any interchanges.

Larry Steinhorst seconded the motion, which was unanimously approved.

OTHER BUSINESS

Item #11 Miscellaneous, correspondence, etc.

Gibson reported on the April 12, 2022, City Council meeting. The historic home in the Rice Farms development was the only planning item on the agenda. It was an old family house that was used as a barn for many years. The structure was restored to its original use and there was a desire to preserve it. The Council approved the ownership model of allowing a lot split and having two separate owners on a 3-2 vote split.

ADJOURNMENT

Erin Christensen made a motion to adjourn.

Rulon Homer, Chair



Planning Commission Staff Report May 5, 2022

Item 2. Hidden Farm Estates Subdivision – Final Plat

Public Hearing: No
Application No.: S-18-21
Property Address: Approximately 800 W Shepard Park Rd
General Plan Designation: CMU (Commercial Mixed Use)
Zoning Designation: CMU and LR (Large Residential)
Area: 9.13 Acres
Number of Lots: 16
Property Owner: Hidden Farm Estates LLC
Agent: Symphony Homes and Phil Holland

Request: *Applicant is requesting final plat approval for Hidden Farms Estates subdivision.*

Background Information

Hidden Farm Estates subdivision is a proposed 16 lot subdivision located in the CMU zone. The entire area is part of the East Park Lane Small Area Master Plan. The City Council approved a rezoning of the parcel on October 19, 2021, to Commercial Mixed Use (CMU) and LR (Large Residential), split 3.67 acres and 7.032 acres respectively. The Planning Commission approved the preliminary plat on January 6, 2022.

Suggested Motion

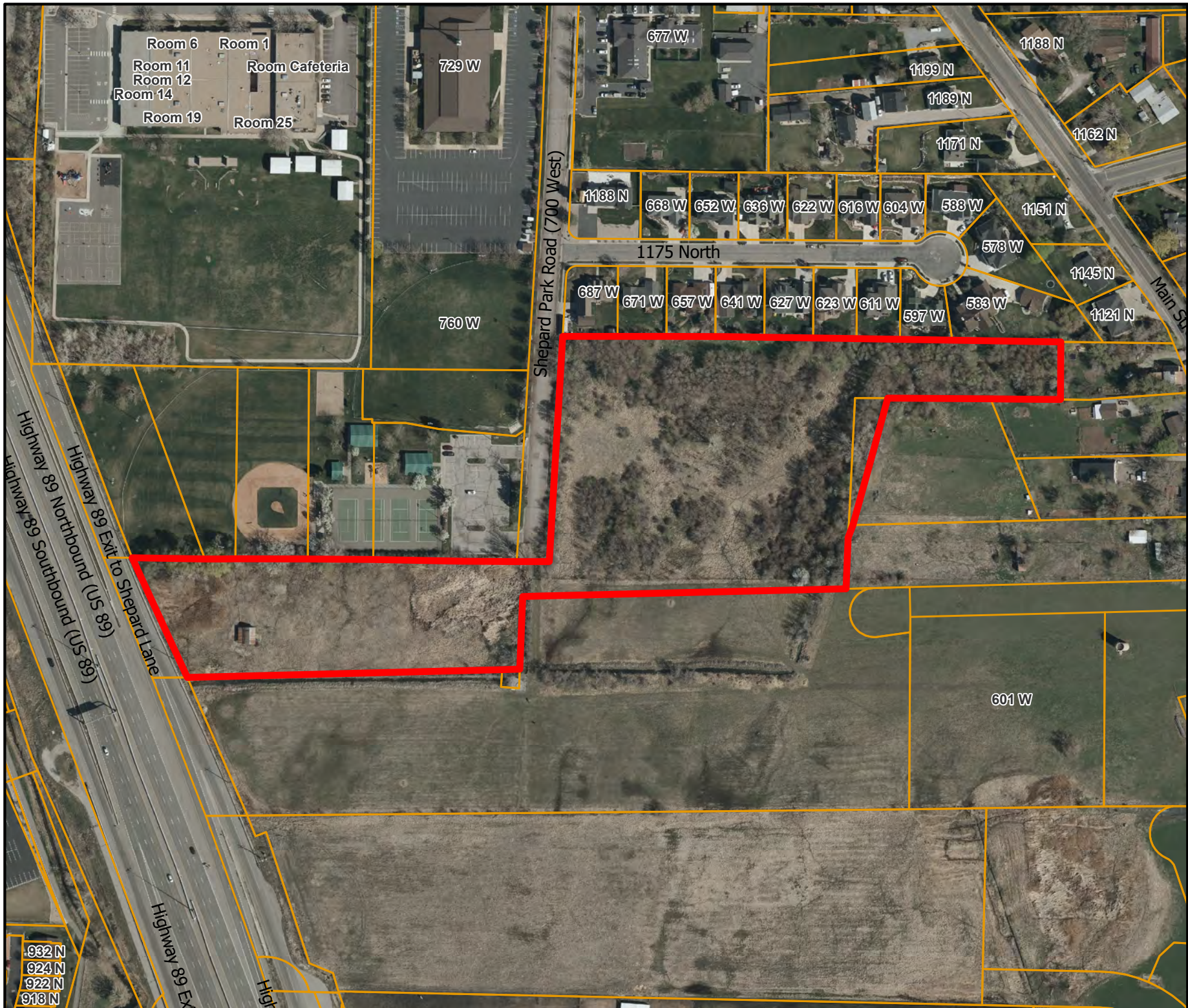
Move that the Planning Commission approve the final plat for Hidden Farm Estates, subject to all applicable Farmington City development standards and ordinances, and all remaining Development Review Committee (DRC) comments, and the preliminary plat.

Finding:

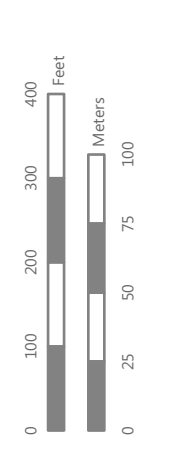
1. The final plat is consistent with the East Park Lane Small Area Master Plan, a component of the City's General Plan.

Supplemental Information

1. Vicinity Map
2. Final Plat



Disclaimer: This map was produced by Farmington City GIS and is for reference only. The information contained on this map is believed to be accurate and suitable for limited uses. Farmington City makes no warranty as to the accuracy of the information contained for any other purposes.



VICINITY MAP
Parcel 08-051-0179

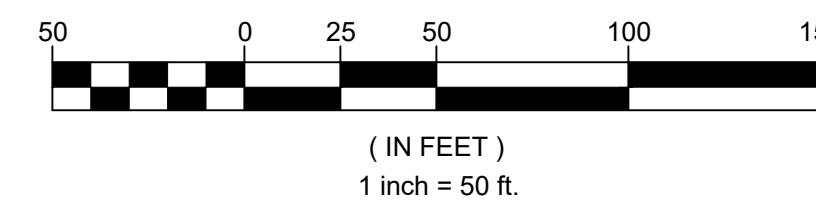
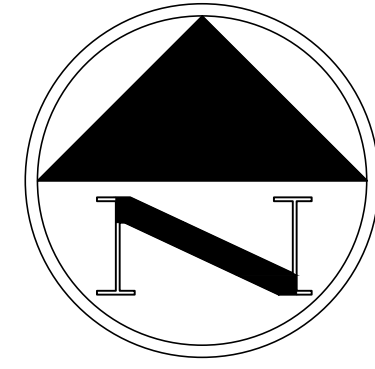


VICINITY MAP



HIDDEN FARM ESTATES

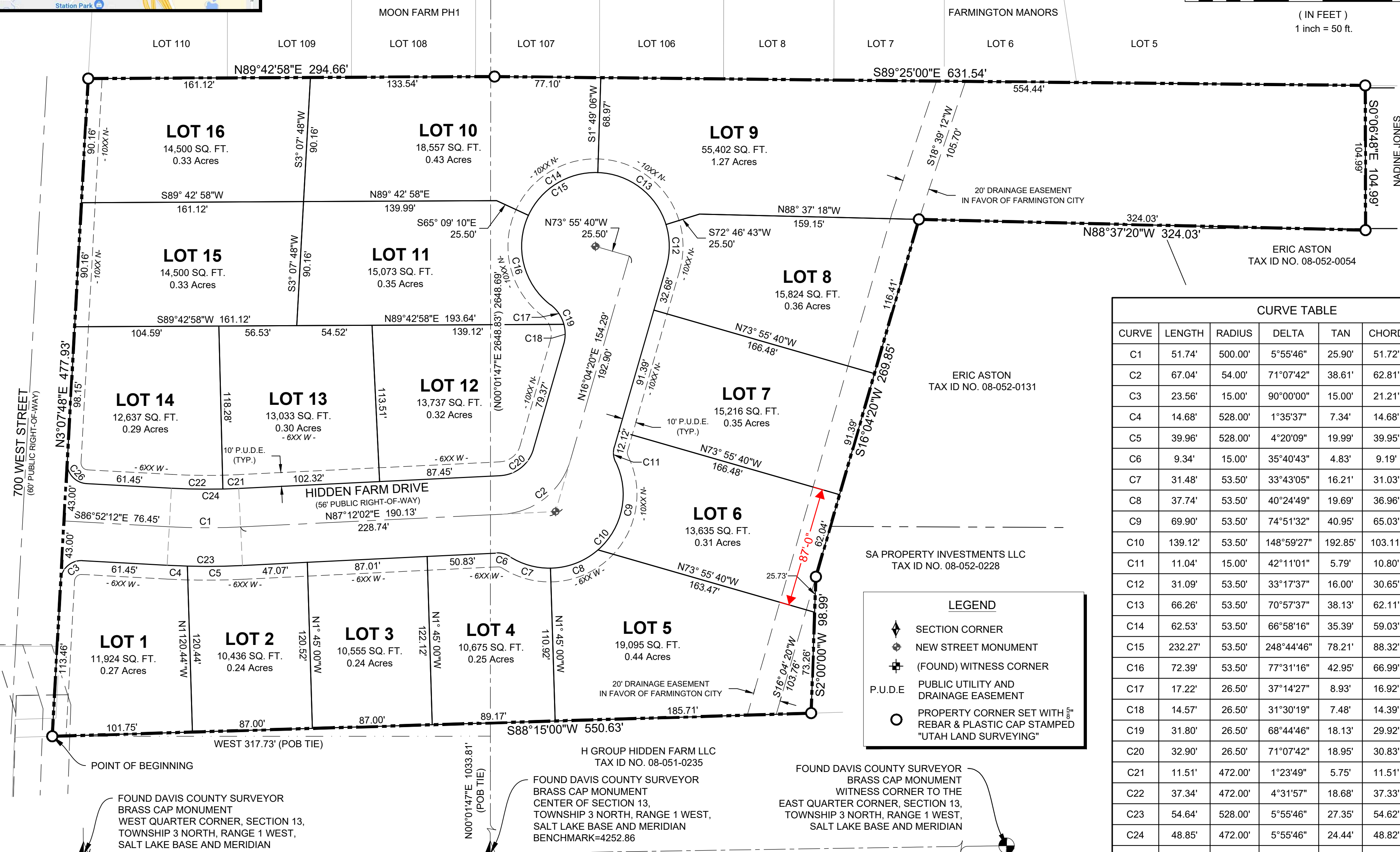
LOCATED IN THE NORTH HALF OF SECTION 13,
TOWNSHIP 3 NORTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
FARMINGTON CITY, DAVIS COUNTY, UTAH
APRIL 2022



FOUND DAVIS COUNTY SURVEYOR
BRASS CAP MONUMENT
NORTH QUARTER CORNER, SECTION 13,
TOWNSHIP 3 NORTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN

MOON FARM PH1

FARMINGTON MANORS



CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TAN	CHORD	CHORD BRG
C1	51.74'	500.00'	5°55'46"	25.90'	51.72'	S89°50'05"E
C2	67.04'	54.00'	71°07'42"	38.61'	62.81'	N51°38'11"E
C3	23.56'	15.00'	90°00'00"	15.00'	21.21'	S48°07'48"W
C4	14.68'	528.00'	1°35'37"	7.34'	14.68'	N87°40'00"W
C5	39.96'	528.00'	4°20'09"	19.99'	39.95'	S89°22'07"W
C6	9.34'	15.00'	35°40'43"	4.83'	9.19'	N74°57'36"W
C7	31.48'	53.50'	33°43'05"	16.21'	31.03'	N73°58'47"W
C8	37.74'	53.50'	40°24'49"	19.69'	36.96'	S68°57'15"W
C9	69.90'	53.50'	74°51'32"	40.95'	65.03'	S11°19'05"W
C10	139.12'	53.50'	148°59'27"	192.85'	103.11'	N48°23'02"E
C11	11.04'	15.00'	42°11'01"	5.79'	10.80'	S5°01'11"E
C12	31.09'	53.50'	33°17'37"	16.00'	30.65'	S0°34'29"E
C13	66.26'	53.50'	70°57'37"	38.13'	62.11'	S52°42'06"E
C14	62.53'	53.50'	66°58'16"	35.39'	59.03'	N58°19'58"E
C15	232.27'	53.50'	248°44'46"	78.21'	88.32'	S71°41'57"W
C16	72.39'	53.50'	77°31'16"	42.95'	66.99'	N13°54'48"W
C17	17.22'	26.50'	37°14'27"	8.93'	16.92'	N34°03'13"W
C18	14.57'	26.50'	31°30'19"	7.48'	14.39'	N0°19'10"E
C19	31.80'	26.50'	68°44'46"	18.13'	29.92'	S18°18'03"E
C20	32.90'	26.50'	71°07'42"	18.95'	30.83'	N51°38'11"E
C21	11.51'	472.00'	1°23'49"	5.75'	11.51'	N87°53'57"E
C22	37.34'	472.00'	4°31'57"	18.68'	37.33'	S89°08'10"E
C23	54.64'	528.00'	5°55'46"	27.35'	54.62'	S89°50'05"E
C24	48.85'	472.00'	5°55'46"	24.44'	48.82'	S89°50'05"E
C26	23.56'	15.00'	90°00'00"	15.00'	21.21'	S41°52'12"E

LEGEND

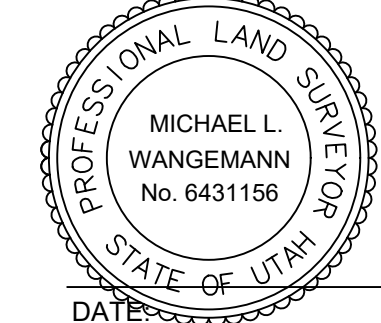
- ◆ SECTION CORNER
- ◆ NEW STREET MONUMENT
- ◆ (FOUND) WITNESS CORNER
- ◆ P.U.D.E. PUBLIC UTILITY AND DRAINAGE EASEMENT
- PROPERTY CORNER SET WITH 5/8" REBAR & PLASTIC CAP STAMPED "UTAH LAND SURVEYING"

NOTES:

- APPROVAL OF THIS DEVELOPMENT PLAT BY FARMINGTON CITY DOES NOT CONSTITUTE ANY REPRESENTATION AS TO THE ADEQUACY OF THE SUB-SURFACE SOIL CONDITIONS NOR THE LOCATION OR DEPTH OF GROUND WATER TABLES.
- INDIVIDUAL PROPERTY OWNERS ARE RESPONSIBLE FOR SURFACE DRAINAGE FROM THEIR LOTS. THE CITY WILL INSPECT FINAL GRADES TO ENSURE COMPLIANCE WITH THE SUBDIVISION GRADING PLAN PRIOR TO HOME OCCUPANCY PERMIT BEING ISSUED.
- A SOIL REPORT HAS BEEN PREPARED AND SUBMITTED TO THE CITY FOR THE PROPOSED SUBDIVISION IN ACCORDANCE WITH THE PROVISIONS OF THE SUBDIVISION ORDINANCE.
- DRAINAGE BERMS AND SWALES WILL BE INSTALLED BY THE DEVELOPER AND MAINTAINED BY THE HOME OWNERS.
- 5/8" REBAR AND CAP WILL BE SET IN ALL PROPERTY CORNERS.

SURVEYOR'S CERTIFICATE:

I, **MICHAEL L. WANGEMANN**, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. **6431156**, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED HEREON, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS, TOGETHER WITH EASEMENTS, HEREAFTER TO BE KNOWN AS: **HIDDEN FARM ESTATES** AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT.



DATE: _____
MICHAEL L. WANGEMANN
LICENSE NO. 6431156

BOUNDARY DESCRIPTION

A PORTION OF GROUND THAT IS LOCATED IN THE NORTH HALF OF SECTION 13, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN (WITH THE NAD83 ROTATION BEING 00°23'19" CLOCKWISE), BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT THAT IS NORTH 00°01'47" EAST ALONG THE QUARTER SECTION LINE 1033.81 FEET AND WEST 317.73 FEET FROM THE CENTER OF SECTION 13, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; AND RUNNING THENCE NORTH 03°07'48" EAST ALONG THE EAST RIGHT-OF-WAY LINE OF 700 WEST STREET TO THE SOUTH LINE OF MOON FARM SUBDIVISION PHASE 1 RECORDED ON MARCH 25, 1997 AS ENTRY NO. 1312227 IN BOOK 2109 AT PAGE 459 IN THE DAVIS COUNTY RECORDER'S OFFICE, A DISTANCE OF 477.93 FEET; THENCE ALONG SAID SOUTH LINE OF MOON FARM SUBDIVISION PHASE 1 THE FOLLOWING TWO (2) COURSES: NORTH 89°42'58" EAST 294.66 FEET; THENCE SOUTH 89°25'00" EAST ALONG SAID SOUTH LINE OF MOON FARM SUBDIVISION PHASE 1 AND CONTINUING ON THE SOUTH LINE OF FARMINGTON MANORS AS RECORDED AND DATED JUNE 7, 2007 AS ENTRY NO. 2281027 IN BOOK 4307 AT PAGE 553 IN THE DAVIS COUNTY RECORDER'S OFFICE, A DISTANCE OF 631.54 FEET TO THAT COMMON LINE AS DESCRIBED IN THAT CERTAIN BOUNDARY LINE AGREEMENT BETWEEN THG FARMINGTON LLC AND NADINE M. JONES RECORDED ON JANUARY 6, 2022, AS ENTRY NO. 3447945 IN BOOK 7920 AT PAGES 685-691; THENCE SOUTH 00°06'48" EAST ALONG SAID COMMON LINE 104.99 FEET; THENCE NORTH 88°37'20" WEST 324.03 FEET; THENCE SOUTH 16°04'20" WEST 269.85 FEET; THENCE SOUTH 02°00'00" WEST 98.99 FEET TO THAT COMMON LINE AS DESCRIBED IN THAT CERTAIN BOUNDARY LINE AGREEMENT BETWEEN THG FARMINGTON LLC AND DAN C. RICH AND DAYER WORRAL RECORDED ON DECEMBER 6, 2021 AS ENTRY NO. 3440476 IN BOOK 7899 AT PAGES 446-452; THENCE SOUTH 88°15'00" WEST ALONG SAID COMMON LINE 550.63 FEET TO THE POINT OF BEGINNING.
CONTAINS 303,981.95 SQ/FT OR 6.98 ACRES

OWNERS DEDICATION:

WE, THE UNDERSIGNED OWNERS OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS SHOWN ON THIS PLAT, AND NAME SAID TRACT:

HIDDEN FARM ESTATES

AND DO HEREBY DEDICATE, GRANT AND CONVEY TO FARMINGTON CITY, DAVIS COUNTY, UTAH, ALL THOSE PARTS AND PORTIONS OF SAID TRACTS OF LAND DESIGNATED AS PUBLIC ROADS, THE SAME TO BE USED AS PUBLIC UTILITY AND DRAINAGE EASEMENTS FOREVER AS SHOWN HEREON, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES AND DRAINAGE AS MAY BE AUTHORIZED BY FARMINGTON CITY.

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUT HANDS THIS _____ DAY OF _____ A.D. 20____.

CORPORATE ACKNOWLEDGEMENT:

STATE OF UTAH § _____ COUNTY OF DAVIS
ON THIS _____ DAY OF _____ IN THE YEAR 20____, PERSONALLY APPEARED BEFORE ME _____, WHOSE IDENTITY IS PERSONALLY KNOWN TO ME (OR PROVEN ON THE BASIS OF SATISFACTORY EVIDENCE) AND WHO BY ME DULY SWORN/AFFIRMED, DID SAY THAT HE/SHE IS THE _____ OF _____ AND THAT SAID DOCUMENT WAS SIGNED BY HIM/HER IN BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BYLAWS, OR (RESOLUTION OF ITS BOARD OF DIRECTORS), AND SAID _____ ACKNOWLEDGED TO ME THAT SAID CORPORATION EXECUTED THE SAME.

WITNESS MY HAND AND OFFICIAL SEAL.

(NOTARY SIGNATURE)

DAVIS COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____
FILED FOR RECORD AND RECORDED THIS _____ DAY OF _____, 20____
AT _____ IN BOOK _____ PAGE _____

DAVIS COUNTY RECORDER
BY: _____
DEPUTY RECORDER

BASIS OF BEARINGS:
THE BASIS OF BEARING FOR THIS SURVEY WAS ESTABLISHED USING FOUND INTERSECTION DAVIS COUNTY SURVEYOR BRASS CAP MONUMENTS LOCATED AT THE WEST QUARTER CORNER AND THE CENTER OF SECTION 13, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN AS SHOWN ON THIS SURVEY PLAT.

DEVELOPER:
SYMPHONY HOMES
RUSSELL WILSON
801-298-8555
RWILSON@SYMPHONYHOMES.COM

UTAH LAND SURVEYING, LLC
A PROFESSIONAL LICENSED LAND SURVEYING COMPANY
1359 FAIRWAY CIR
FARMINGTON, UT 84025
PHONE 801.725.8395
FAX 801.820.7775
www.utahlandsurveying.com

CENTRAL DAVIS SEWER DISTRICT APPROVED THIS _____ DAY OF _____ A.D., 20____ BY THE CENTRAL DAVIS SEWER DISTRICT.	BENCHLAND WATER DISTRICT APPROVED THIS _____ DAY OF _____ A.D., 20____ BY THE BENCHLAND WATER DISTRICT. DISTRICT MANAGER _____	CITY ENGINEER'S APPROVAL APPROVED THIS _____ DAY OF _____ A.D., 20____ BY THE FARMINGTON CITY ENGINEER. CITY ENGINEER _____	CITY ATTORNEY APPROVAL APPROVED THIS _____ DAY OF _____ A.D., 20____ BY THE FARMINGTON CITY ATTORNEY. CITY ATTORNEY _____	PLANNING COMMISSION APPROVED THIS _____ DAY OF _____ A.D., 20____ BY THE FARMINGTON CITY PLANNING AND ZONING COMMISSION. CHAIRMAN _____	CITY COUNCIL ACCEPTANCE APPROVED THIS _____ DAY OF _____ A.D., 20____ BY THE FARMINGTON CITY COUNCIL. MAYOR _____ CITY RECORDER _____
--	--	---	---	---	--



Planning Commission Staff Report May 5, 2022

Item 3: Final Plat – Farmington Station Center Townhomes

Public Hearing:	No
Application No.:	S-12-21
Property Address:	1525 West Burke Lane
General Plan Designation:	CA/BP (Class A Office and Business Park)
Zoning Designation:	OMU (Office Mixed Use)
Area:	8.66 acres
Number of Lots:	122
Property Owner:	FSC LLC
Applicant:	Chris McCandless

Request: *Applicant is seeking a Final Plat approval for the Farmington Station Center Townhomes development.*

Background Information

The Planning Commission approved the preliminary plat for the Farmington Station Center Townhomes project in March of this year. Since that meeting the developer has provided more detailed drawings and plans for the review of staff and is now seeking Final Plat approval for that project.

The development has remained consistent from the Project Master Plan/Schematic Subdivision, Preliminary Plat, and now Final Plat in its general layout and design. The final plan includes 122 townhome units. These units are 3 and 4 story townhomes with rooftop space on the larger units located primarily around the perimeter of the project. Parcel A remains available for future commercial development and the units proposed along Burke Lane are designed as Live/Work space.

The approval of the Preliminary Plat came with a list of conditions that have been/are being addressed as follows:

1. A note shall be placed on the Final Plat and/or a shared use agreement shall be in place to allow access from what is identified as Seago Way to the Romney properties identified on the preliminary plat as parcels # 08-060-0012 and 08-060-0013.
 - The applicant has confirmed that they will grant access to these properties, the text is not currently shown on sheet 3 of 3 of the final plat, but will be included on the mylar and addressed with the CCRs for the project prior to recording.

2. Applicant provide documentation of ability to complete 1400 West Street curb to curb between project and Burke Lane.
 - Both the applicant and developer working on the applicable neighboring property have been in contact and are in agreement to cooperate to ensure this road facility is completed. Staff understands that there is a verbal agreement for this to take place and a draft written agreement under consideration. This will need to be formalized prior to issuing a permit to construct subdivision improvements.
 - Similarly the applicant has been given direction to coordinate the detail for the sidewalk along Henson Trail Lane in relation to the Burke Lane project taking place immediately adjacent to it to reduce duplicate infrastructure if it isn't necessary.
3. West side of 1400 West Street be modified to include greenway/enhanced pedestrian pathway and exchange agreement to be finalized with Farmington City.
 - The applicant/developer has accommodated this request by shifting the right-of-way on 1400 West Street to the east some 15 ft. and adding additional width to the sidewalk and enhanced landscaping in this area.
4. Decision of record for final wetland delineation shall be provided for development of northwest 20 units, otherwise Final Plat shall be completed with phasing.
 - This decision is still pending and will hold permits or limit amount of construction activity permitted.
5. Applicant and staff shall verify Final Plat format per back to back units and potential condominium type plat.
 - The builder and building official have been in contact and have confirmed the required construction type for the units as an R-2. This subdivision plat will work for that type of construction. A note will need to be placed on the mylar before recording that this will be needed for buildings 2, 3, 5, 12, 13, and 15.
6. City and applicant to coordinate update of zoning district on property currently controlled by Farmington City RDA.
 - This has been recommended for approval by the Planning Commission and is on the agenda of the City Council 5/3/22 for final approval.
7. In addition, the applicant has shown the right-of-way dedication to include the parkstrip and sidewalk along the public roads. This is common, but the mylar will include that area as part of the private property under easements rather than full street dedication.

Suggested Motion

Move the Planning Commission approve the final plat for Farmington Station Center Townhomes Subdivision subject to all applicable Farmington City ordinances and development standards and any remaining DRC comments, and the completion of items 1-7 listed in this report prior to recording.

Findings for Approval:

1. The Final plat is consistent with the approved Preliminary Plat, Schematic Subdivision Plan and Project Master Plan and follows applicable ordinances and standards and the approved development agreement. Providing for the anticipated housing produce, commercial uses, and live/work space within the general configuration and previously seen number of units.

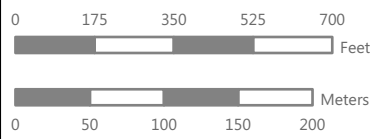
2. The remaining construction drawing review process coupled with the applicable conditions of approval will address remaining details to ensure the project fully follows applicable standards and ordinances.

Supplemental Information

1. Vicinity Map
2. PMP/Schematic Plan Concepts
3. Greenway Concept
4. Preliminary Plat
5. Final Plat Documents
6. Landscape Plans



VICINITY MAP
Farmington Station Center

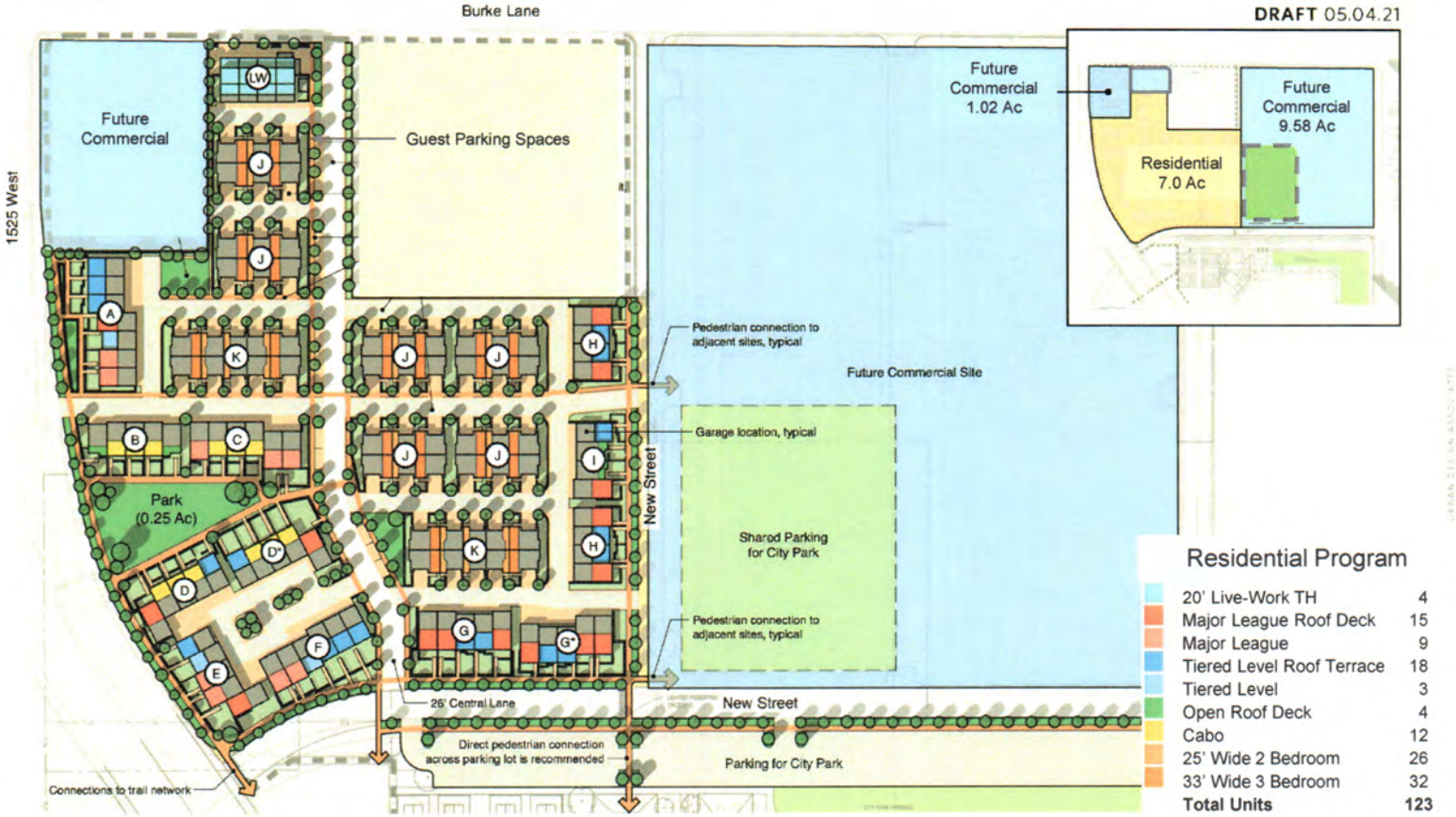


Disclaimer: This map was produced by Farmington City GIS and is for reference only. The information contained on this map is believed to be accurate and suitable for limited uses. Farmington City makes no warranty as to the accuracy of the information contained for any other purposes.



Master Plan and Land Uses

DRAFT 05.04.21



SITE PLAN

0 100 200 300 FEET

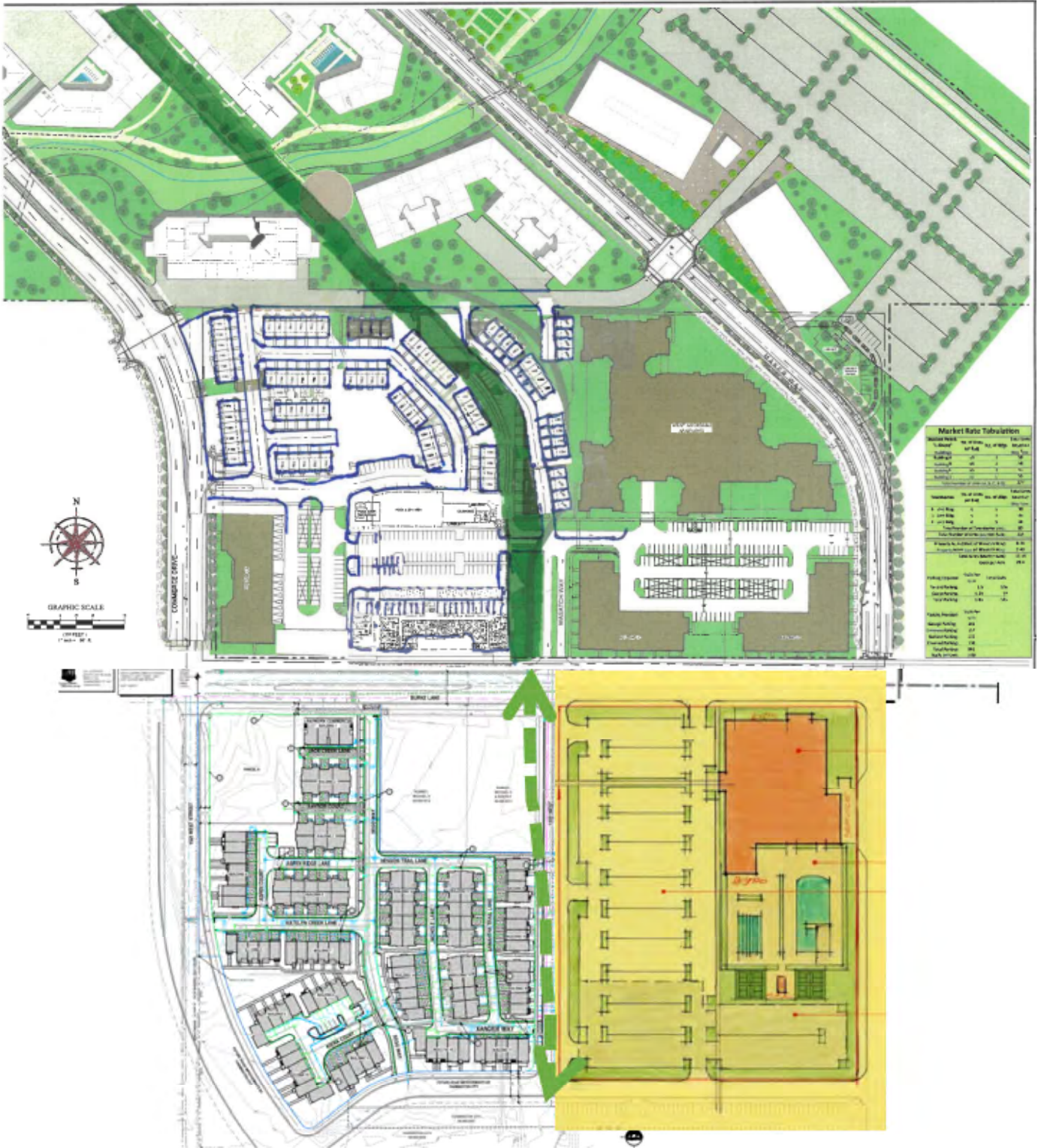


Townhomes – Overview

DRAFT 05.04.21



Greenway Concept

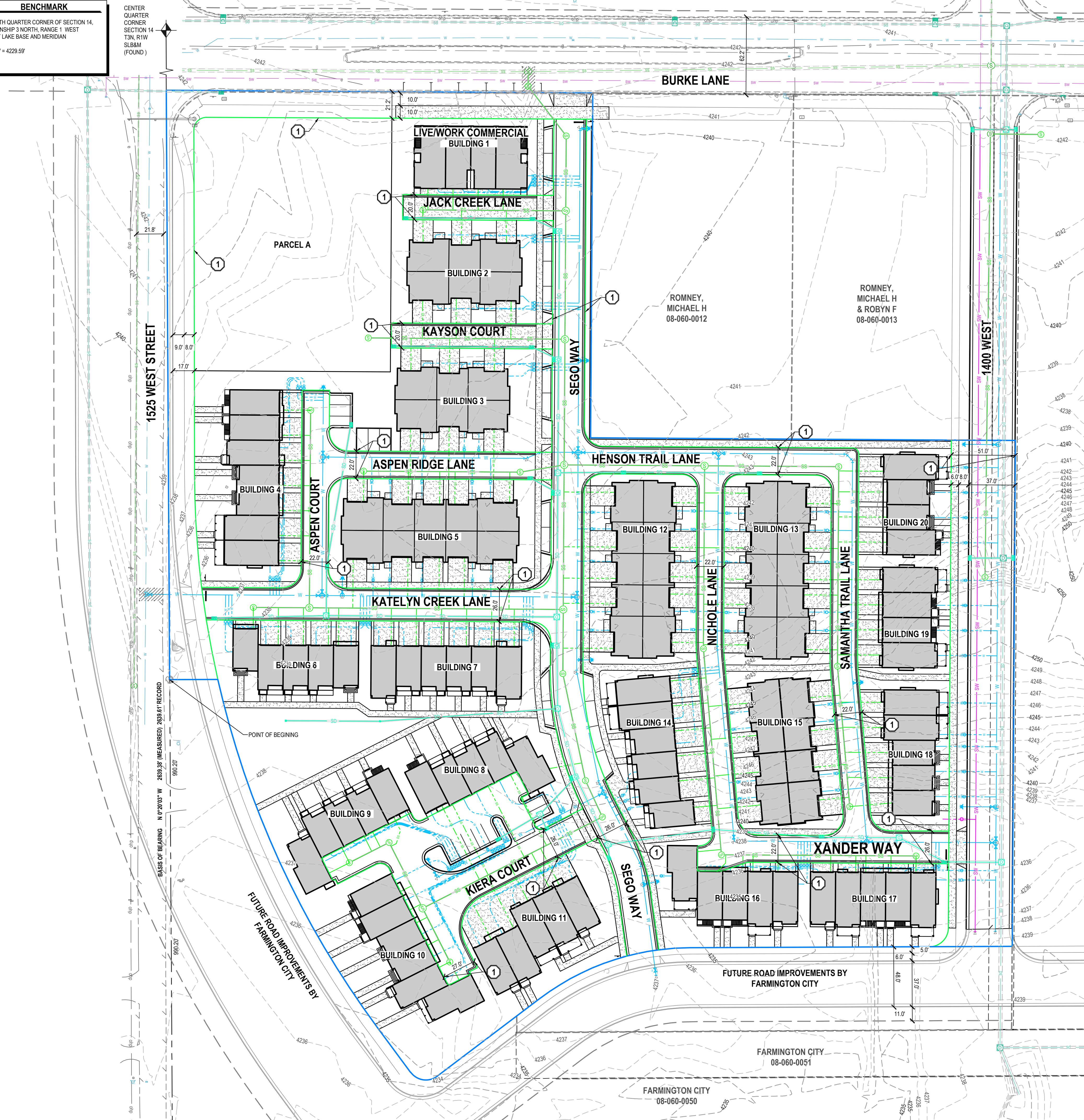


811
Know what's below.
Call before you dig.

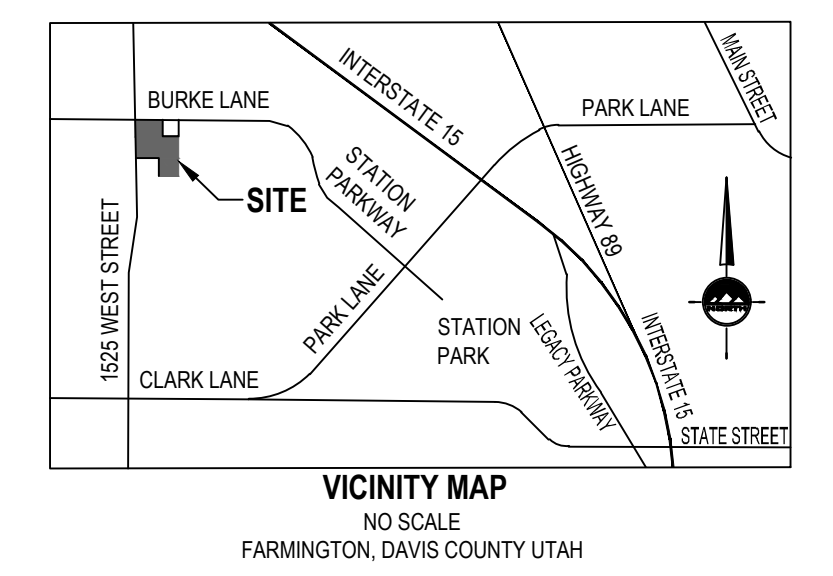
BENCHMARK
SOUTH QUARTER CORNER OF SECTION 14,
TOWNSHIP 3 NORTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
ELEV = 4229.59

CENTER QUARTER CORNER SECTION 14
T3N, R1W SL&BM
(FOUND)

SOUTH QUARTER CORNER SECTION 14
T3N, R1W SL&BM
(FOUND)
BENCHMARK
ELEV. = 4229.59



BOUNDARY DESCRIPTION
A parcel of land, situate in the Southeast Quarter of Section 14, Township 3 North, Range 1 West, Salt Lake Base and Meridian, said parcel also located in Farmington, Utah, more particularly described as follows:
Beginning at a point on the East line of 1525 West Street, said point being North 00°20'03" West 990.20 feet along the quarter-section line from the South Quarter Corner of Section 14, Township 3 North, Range 1 West, Salt Lake Base and Meridian and running:
thence North 00°20'03" West 470.00 feet along the East line of 1525 West Street and along the quarter-section line to the South line of 675 North Street;
thence South 89°38'13" East 340.00 feet along the South line of 675 North Street;
thence South 00°21'47" West 275.00 feet;
thence South 89°38'19" East 338.50 feet;
thence South 00°21'47" West 403.36 feet;
thence South 89°45'59" West 256.79 feet;
thence Southwesterly 128.54 feet along the arc of a 199.50 foot radius curve to the left (center bears South 00°14'01" East and the chord bears South 71°18'32" West 126.32 feet with a central angle of 36°54'54");
thence South 52°51'05" West 102.68 feet;
thence Northwesterly 23.74 feet along the arc of a 15.00 foot radius curve to the right (center bears North 37°08'55" West and the chord bears North 81°45'33" West 21.34 feet with a central angle of 90°40'45");
thence North 36°28'10" West 33.94 feet;
thence Northwesterly 318.12 feet along the arc of a 744.72 foot radius curve to the right (center bears North 52°44'20" East and the chord bears North 23°01'26" West 315.70 feet with a central angle of 24°28'29");
thence South 89°39'57" West 38.31 feet to the point of beginning.
Contains 363,744 Square Feet or 8.350 Acres, 193 Units and 1 Parcel



UNIT COUNT
SINGLE FAMILY RESIDENTIAL = 0
TOWNHOMES = 122
CONDOMINIUMS = 0
TOTAL UNITS = 122
UNITS PER ACRE = 14.5
TYPE OF DEVELOPMENT: RESIDENTIAL PUD
CURRENT ZONE: OMU

THIS AREA IS SUBJECT TO THE NORMAL EVERYDAY SOUNDS, ODORS, SIGHTS, FACILITIES AND ASPECTS ASSOCIATED WITH AN AGRICULTURAL LIFESTYLE. RESIDENTS SHOULD ALSO RECOGNIZE THE RISKS INHERENT WITH LIVESTOCK.

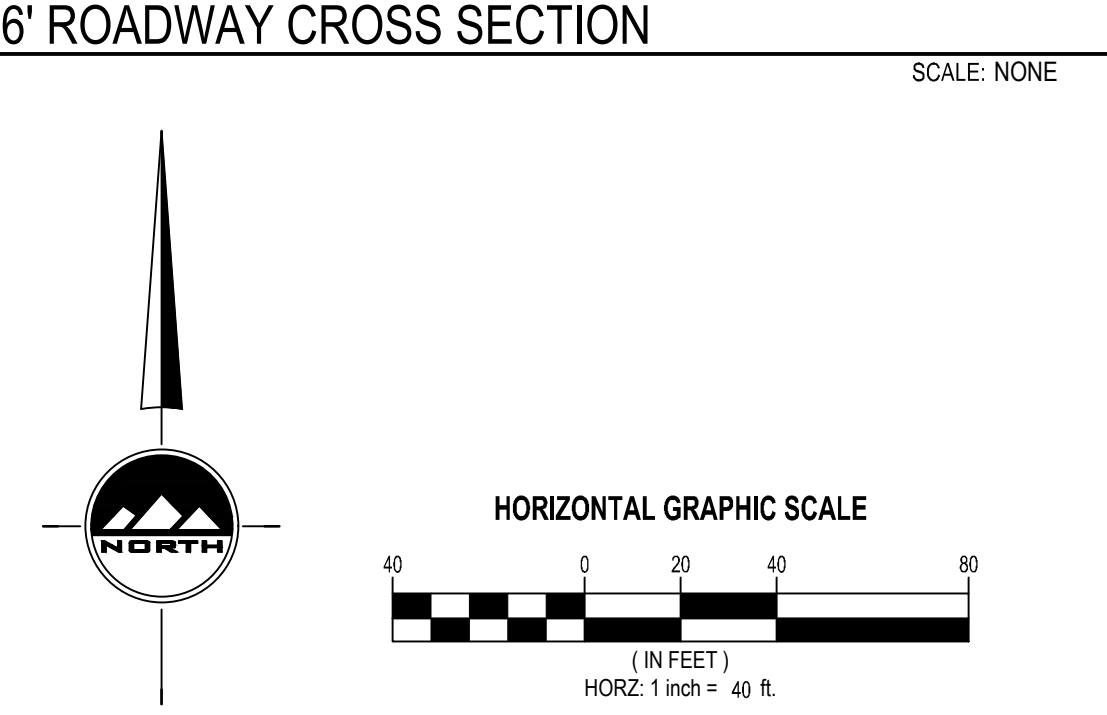
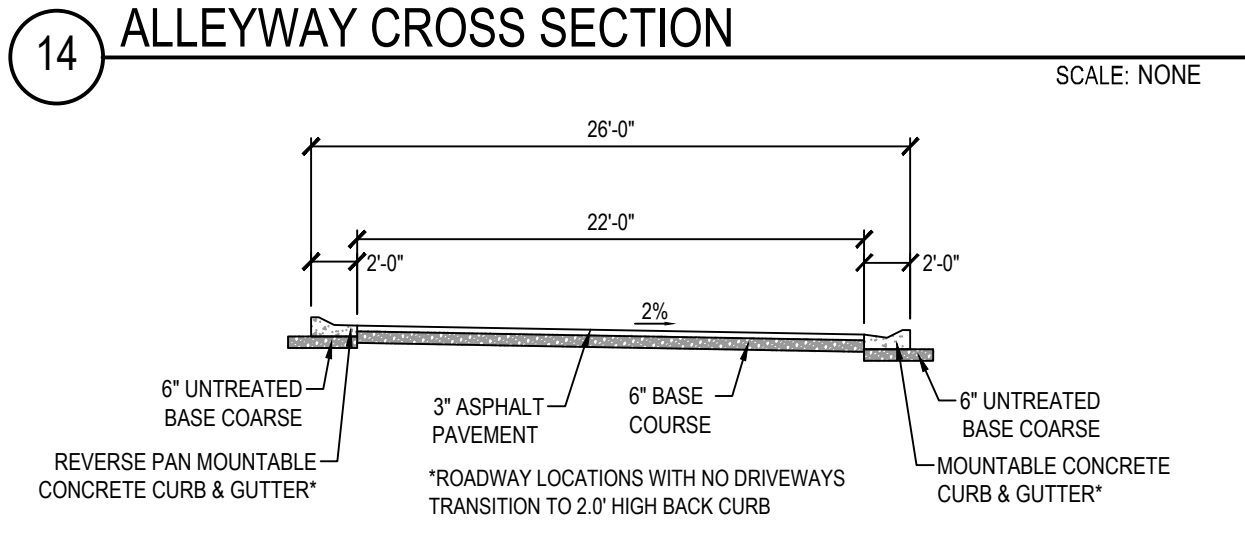
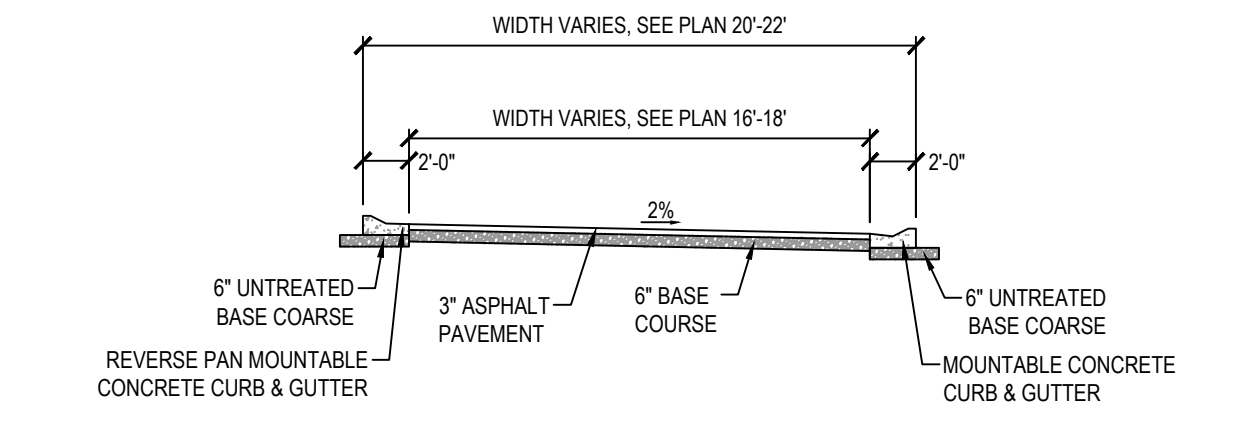
SCOPE OF WORK:
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.
1 PROPOSED ROAD RIGHT OF WAY AND UTILITY EASEMENT

PARKING DATA TABLE

SURFACE PARKING	29
TOWNHOME DRIVE PARKING	134
TOTAL STALLS	163

SITE SUMMARY TABLE

DESCRIPTION	AREA (SF)	PERCENTAGE
PAVEMENT	134,557	37%
ROOF	89,074	24%
LANDSCAPING	70,097	19%
PARCEL A	31,722	9%
ROAD DEDICATION	38,294	11%
TOTAL SITE	363,744	100%
	8.35 ACRES	



SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSGNENG.COM
FOR:
CW MANAGEMENT
9071 SOUTH 1300 WEST, SUITE 100
WEST JORDAN, UTAH
CONTACT:
CHRIS MCCANDLESS
PHONE: 801-984-5770

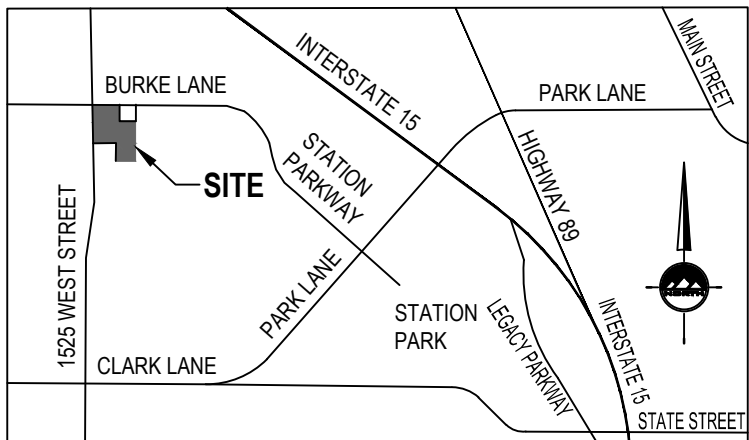
**NORTH FARMINGTON STATION TOWNHOMES
PRELIMINARY PLAT - NOT TO BE RECORDED**
1400 WEST BURKE LANE
FARMINGTON, UTAH

PRELIMINARY PLAT

PROJECT NUMBER: 9030
PRINT DATE: 1/24/22
DRAWN BY: [blank]
CHECKED BY: [blank]

PROJECT MANAGER

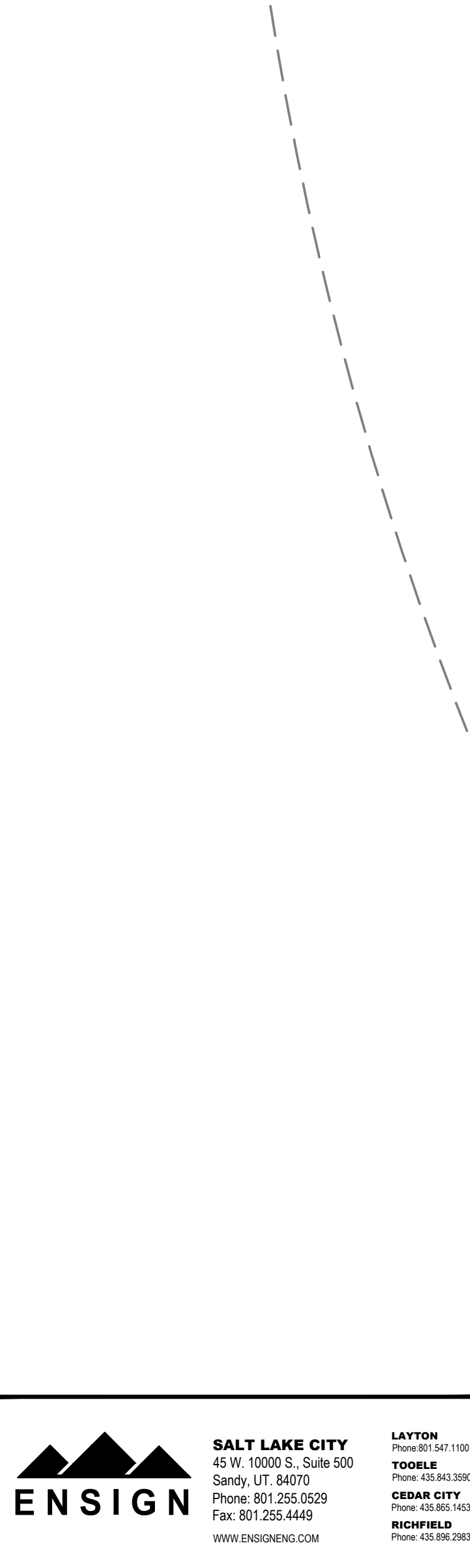
C-100



NORTH FARMINGTON STATION TOWNHOMES

LOCATED IN THE THE SOUTHEAST QUARTER OF SECTION 14
TOWNSHIP 3 NORTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
FARMINGTON CITY, DAVIS COUNTY, UTAH

VICINITY MAP
NO SCALE
FARMINGTON, DAVIS COUNTY UTAH



ENSIGN
SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT. 84070
Phone: 801.255.0529
Fax: 801.255.4449
WWW.ENSIGNENG.COM

LAYTON
Phone: 801.547.1100
TOOLE
Phone: 435.843.3590
CEDAR CITY
Phone: 435.865.1453
RICHFIELD
Phone: 435.866.2983

LEGEND

- SECTION CORNER
- PROPOSED STREET MONUMENT
- ENSIGN ENG. LAND SURV.
- BOUNDARY LINE
- CENTER LINE
- EASEMENTS
- SECTION LINE
- PRIVATE AREA
- LIMITED COMMON AREA & PUE
- COMMON AREA & PUE EXCLUDING PUBLIC ROADWAYS

EASEMENT NOTES:

- A 20' STORM DRAIN EASEMENT IN FAVOR OF FARMINGTON CITY RECORDED DECEMBER 7, 2020 AS ENTRY NO. 3323558 IN BOOK 7651 AT PAGE 3770 OF OFFICIAL RECORDS.
- A RIGHT-OF-WAY EASEMENT IN FAVOR OF FARMINGTON CITY RECORDED OCTOBER 15, 2003 AS ENTRY NO. 1922757 IN BOOK 3396 AT PAGE 819 OF OFFICIAL RECORDS.

NOTES:

- UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN, AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE P.U.E. THE UTILITY MAY REQUIRE THAT THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE P.U.E. AT THE LOT OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH PERMANENT STRUCTURES BE PLACED WITHIN THE P.U.E. OR ANY OTHER OBSTRUCTION WHICH INTERFERES WITH THE USE OF THE P.U.E. WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE P.U.E. AND STORM DRAINAGE/SEWER EASEMENT. COMMON AND LIMITED COMMON AREAS ARE CITY, COUNTY, DISTRICT EASEMENTS FOR WATER, IRRIGATION, SEWER AND STORM DRAIN AS WELL AS PUBLIC UTILITY EASEMENTS AND DRAINAGE EASEMENTS.
- ALL PRIVATE ROADS ARE COMMON AREA AND A UTILITY EASEMENT.

DEVELOPER
CW MANAGEMENT CORPORATION
9071 S 1300 W
WEST JORDAN, UTAH 84088
801.984.5770

HORIZONTAL GRAPHIC SCALE

30 0 15 30 60
(IN FEET)
HORZ: 1 inch = 30 ft.

SURVEYOR'S CERTIFICATE

I, PATRICK M. HARRIS do hereby certify that I am a Licensed Land Surveyor, and that I hold Certificate No. 286882 as prescribed under laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereafter to be known as NORTH FARMINGTON STATION TOWNHOMES and that the same has been correctly surveyed and staked on the ground as shown on this plat. I further certify that all lots meet frontage width and area requirements of the applicable zoning ordinances.

BOUNDARY DESCRIPTION

A parcel of land, situate in the Southeast Quarter of Section 14, Township 3 North, Range 1 West, Salt Lake Base and Meridian, said parcel also located in Farmington, Utah, more particularly described as follows:

Beginning at a point on the easterly right-of-way line of 1525 West Street, said point being North 00°20'03" West 671.55 feet along the quarter-section line and East 173.59 feet from the South Quarter Corner of Section 14, Township 3 North, Range 1 West, Salt Lake Base and Meridian; and running

thence along said easterly right-of-way line the following three (3) courses:

- North 36°28'51" West 39.02 feet;
- Northwesterly 484.98 feet along the arc of a 761.00 foot radius curve to the right (center bears North 53°31'09" East and the chord bears North 18°13'26" West 476.81 feet with a central angle of 36°30'50");
- North 00°01'59" East 304.33 feet to the southerly right-of-way line of Burke Lane;

thence South 89°38'13" East 333.94 feet along said southerly right-of-way line;

thence South 00°21'47" West 275.00 feet;

thence South 89°38'19" East 348.00 feet;

thence Southerly 43.41 feet along the arc of a 268.50 foot radius curve to the right (center bears South 81°06'00" West and the chord bears South 04°16'07" East 43.36 feet with a central angle of 09°15'47");

thence South 00°21'47" West 370.76 feet;

thence South 89°45'19" West 269.31 feet;

thence Southwesterly 121.45 feet along the arc of a 188.50 foot radius curve to the left (center bears South 00°14'42" East and the chord bears South 71°17'51" West 119.36 feet with a central angle of 36°54'54");

thence South 52°50'24" West 91.99 feet;

thence South 89°40'16" West 53.25 feet to the point of beginning.

Contains 377,120 Square Feet or 8.657 Acres and 122 Units and 1 Parcel

DATE _____ PATRICK M. HARRIS
PLS NO. 286882

OWNER'S DEDICATION

Known all men by these presents that we, the undersigned owners of the above described tract of land, having caused same to be subdivided, hereafter known as the

NORTH FARMINGTON STATION TOWNHOMES

do hereby dedicate for perpetual use of the public all parcels of land, including streets, and utility easements as shown on this plat as intended for public use under the authority and auspices of the Farmington City and other applicable state and federal laws and regulations.

In witness whereof we have hereunto set our hands this _____ day of _____ A.D., 20____.

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

On the _____ day of _____ A.D. 20____, personally appeared before me _____

the signer (s) of the foregoing Owner's Dedication known to me to be authorized to execute the foregoing Owners Dedication by and in behalf of _____ as _____ of said LLCs, and (he, she, they) duly acknowledged to me that the Owners Dedication was executed by (he, she, them) having authority from said LLC for the purposes described hereon.

MY COMMISSION EXPIRES: _____

RESIDING IN _____ COUNTY.

NORTH FARMINGTON STATION TOWNHOMES

LOCATED IN THE THE SOUTHEAST QUARTER OF SECTION 14
TOWNSHIP 3 NORTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
FARMINGTON CITY, DAVIS COUNTY, UTAH

DAVIS COUNTY RECORDER

ENTRY NO. _____ FEE _____
PAID _____ FILED FOR RECORD AND
RECORDED THIS _____ DAY OF _____, 20____
AT _____ IN BOOK _____ OF OFFICIAL RECORDS
PAGE _____

CENTRAL DAVIS SEWER DISTRICT

APPROVED THIS _____ DAY OF _____, 20____,
BY THE CENTRAL DAVIS SEWER DISTRICT.

CENTRAL DAVIS SEWER DISTRICT

BENCHLAND IRRIGATION

APPROVED THIS _____ DAY OF _____, 20____,
BY THE BENCHLAND IRRIGATION.

BENCHLAND IRRIGATION

CITY ATTORNEY'S APPROVAL

APPROVED THIS _____ DAY OF _____, 20____,
BY THE FARMINGTON CITY ATTORNEY.

FARMINGTON CITY ATTORNEY

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, 20____,
BY THE CITY PLANNING COMMISSION APPROVAL.

CHAIRMAN, FARMINGTON CITY PLANNING COMMISSION

CITY ENGINEER'S APPROVAL

APPROVED THIS _____ DAY OF _____, 20____,
BY THE FARMINGTON CITY ENGINEER.

FARMINGTON CITY ENGINEER

CITY COUNCIL APPROVAL

APPROVED THIS _____ DAY OF _____, 20____,
BY THE FARMINGTON CITY COUNCIL.

CITY RECORDER CITY MAYOR

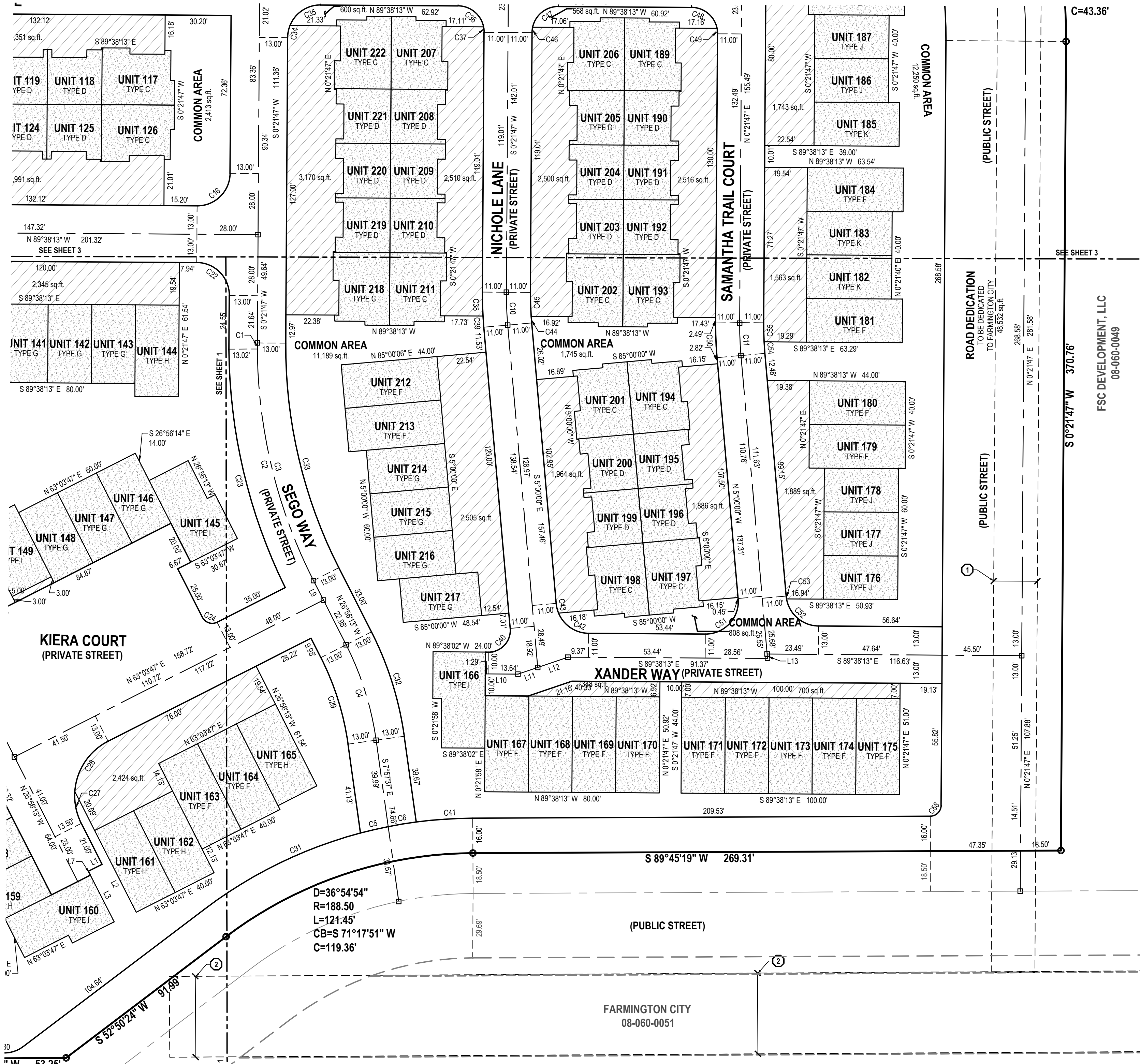
SHEET 1 OF 3

PROJECT NUMBER : 9030
MANAGER : BDM
DRAWN BY : SJL
CHECKED BY : PMH
DATE : 09/01/21

DAVIS COUNTY RECORDER
BY _____ DEPUTY RECORDER

NORTH FARMINGTON STATION TOWNHOMES

LOCATED IN THE THE SOUTHEAST QUARTER OF SECTION 14
TOWNSHIP 3 NORTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
FARMINGTON CITY, DAVIS COUNTY, UTAH



CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C1	237.00'	2.76'	0°40'04"	S0°01'45"W	2.76'
C2	237.00'	110.16'	26°37'56"	S13°37'15"E	109.17'
C3	237.00'	112.92'	27°18'00"	S13°17'13"E	111.86'
C4	139.00'	46.04'	18°58'36"	N17°26'55"W	45.83'
C5	204.50'	13.05'	3°39'25"	S77°00'23"W	13.05'
C6	204.50'	13.01'	3°38'38"	S80°39'25"W	13.00'
C7	745.00'	13.16'	1°00'43"	S8°34'02"E	13.16'
C8	745.00'	13.13'	1°00'34"	S7°33'24"E	13.13'
C9	10.00'	15.75'	90°15'16"	S45°09'37"W	14.17'
C10	161.00'	15.07'	5°21'47"	S2°19'07"E	15.06'
C11	161.00'	15.07'	5°21'47"	S2°19'07"E	15.06'
C12	745.00'	92.12'	7°05'06"	S3°30'34"E	92.06'
C13	15.00'	23.56'	90°00'00"	S44°38'13"E	21.21'
C14	15.00'	23.56'	90°00'00"	N45°21'47"E	21.21'
C15	745.00'	356.37'	27°24'27"	S22°46'38"E	352.98'
C16	15.00'	23.56'	90°00'00"	N45°21'47"E	21.21'
C17	15.00'	0.38'	1°26'33"	S88°54'57"E	0.38'
C18	15.00'	23.18'	88°33'27"	S43°54'57"E	20.94'
C19	15.00'	23.18'	88°33'27"	S44°38'30"W	20.94'
C20	15.00'	0.38'	1°26'33"	S89°38'30"W	0.38'
C21	745.00'	356.37'	27°24'27"	S22°46'38"E	352.98'
C22	15.00'	23.56'	90°00'00"	N44°38'13"W	21.21'
C23	250.70'	113.23'	25°52'42"	S13°16'46"E	112.27'
C24	5.00'	7.85'	90°00'00"	S71°56'13"E	7.07'

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C25	5.00'	7.98'	91°27'27"	S72°38'51"E	7.16'
C26	8.00'	13.28'	95°05'34"	N69°35'55"W	11.81'
C27	28.00'	15.15'	31°00'10"	S11°26'08"E	14.97'
C28	28.00'	28.83'	58°59'50"	S33°33'52"W	27.57'
C29	126.00'	41.73'	18°58'36"	N17°26'55"W	41.54'
C30	14.00'	22.16'	90°40'45"	S81°49'14"E	19.92'
C31	204.50'	79.73'	22°20'17"	S64°00'32"W	79.22'
C32	152.00'	50.34'	18°58'36"	N17°26'54"W	50.11'
C33	224.00'	106.73'	27°18'00"	S13°17'13"E	105.72'
C34	15.00'	5.63'	21°30'37"	S11°07'05"W	5.60'
C35	15.00'	17.93'	68°29'23"	S56°07'05"W	16.88'
C36	12.00'	16.33'	77°58'31"	N50°38'58"W	15.10'
C37	12.00'	2.52'	12°01'29"	N5°38'57"W	2.51'
C38	172.00'	11.00'	3°39'46"	S1°28'07"E	10.99'
C39	172.00'	5.10'	1°42'00"	S4°09'00"E	5.10'
C40	10.00'	16.64'	95°21'47"	N42°40'54"E	14.79'
C41	204.50'	25.97'	7°16'34"	S86°07'01"W	25.95'
C42	15.00'	17.54'	66°59'09"	S56°08'39"E	16.55'
C43	15.00'	4.62'	17°39'04"	S13°49'32"E	4.60'
C44	150.00'	3.04'	1°09'43"	S4°25'09"E	3.04'
C45	150.00'	11.00'	4°12'04"	S1°44'15"E	11.00'
C46	12.00'	2.52'	12°01'29"	S6°22'31"W	2.51'
C47	12.00'	16.33'	77°58'31"	S51°22'31"W	15.10'
C48	12.00'	16.33'	77°58'31"	N50°38'57"W	15.10'

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C49	12.00'	2.52'	12°01'28"	N5°38'58"W	2.51'
C50	172.00'	16.10'	5°21'47"	S2°19'07"E	16.09'
C51	15.00'	24.97'	95°21'47"	N42°40'53"E	22.18'
C52	15.00'	20.86'	79°40'03"	S49°48'12"E	19.22'
C53	15.00'	1.30'	4°58'10"	S7°29'05"E	1.30'
C54	150.00'	5.31'	2°01'41"	S3°59'09"E	5.31'
C55	150.00'	8.73'	3°20'06"	S1°18'16"E	8.73'
C56	5.13'	7.06'	78°46'20"	N39°31'33"W	6.52'
C57	15.00'	23.56'	90°00'00"	S44°38'13"E	21.21'
C58	5.00'	7.80'	89°23'32"	N45°03'33"E	7.03'
C59	213.50'	43.52'	11°40'44"	N5°28'35"W	43.44'

LINE TABLE		
LINE	BEARING	LENGTH
L1	N63°03'47"E	7.00'
L2	S26°56'13"E	62.09'
L3	N26°56'13"W	26.00'
L4	N26°56'13"W	44.04'
L5	N26°56'13"W	40.00'
L7	N26°56'13"W	2.00'
L9	N26°56'13"W	10.02'
L10	N89°38'13"W	14.93'
L11	S71°16'45"W	9.57'
L12	S71°16'45"W	14.66'
L13	N5°00'00"W	2.01'
L14	S0°21'47"W	4.98'

LEGEND

- SECTION CORNER
- PROPOSED STREET MONUMENT
- SET 5/8" REBAR WITH YELLOW PLASTIC CAP, OR NAIL STAMPED "ENSGN ENG. & LAND SURV." AT ALL LOT CORNERS; OFFSET PINS TO PLACED IN BACK OF CURBS
- BOUNDARY LINE
- CENTER LINE
- EASEMENTS
- PRIVATE AREA
- LIMITED COMMON AREA & PUE
- COMMON AREA & PUE EXCLUDING PUBLIC ROADWAYS

HORIZONTAL GRAPHIC SCALE

30 0 15 30 60
(IN FEET)
HORZ: 1 inch = 30 ft.

DEVELOPER
CW MANAGEMENT CORPORATION
9071 S 1300 W
WEST JORDAN, UTAH 84088
801.984.5770

NORTH FARMINGTON STATION TOWNHOMES

LOCATED IN THE THE SOUTHEAST QUARTER OF SECTION 14
TOWNSHIP 3 NORTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
FARMINGTON CITY, DAVIS COUNTY, UTAH

DAVIS COUNTY RECORDER

ENTRY NO. _____ FEE _____
PAID _____ FILED FOR RECORD AND
RECORDED THIS _____ DAY OF _____ 20____
AT _____ IN BOOK _____ OF OFFICIAL RECORDS
PAGE _____



SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT, 84070
Phone: 801.255.0529
Fax: 801.255.4449
WWW.ENSGNENG.COM

LAYTON
Phone: 801.547.1100
TOOELE
Phone: 435.843.3590
CEDAR CITY
Phone: 435.865.1453
RICHFIELD
Phone: 435.886.2883

SHEET 2 OF 3

PROJECT NUMBER : 9030
MANAGER : BDM
DRAWN BY : SJL
CHECKED BY : PMH
DATE : 09/01/21

DAVIS COUNTY RECORDER
BY _____ DEPUTY RECORDER

FARMINGTON CITY
08-060-0050

FARMINGTON CITY
08-060-0051

FSC DEVELOPMENT, LLC
08-060-0049

NORTH FARMINGTON STATION TOWNHOMES

LOCATED IN THE THE SOUTHEAST QUARTER OF SECTION 14
TOWNSHIP 3 NORTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
FARMINGTON CITY, DAVIS COUNTY, UTAH

1525 WEST STREET
(PUBLIC STREET)

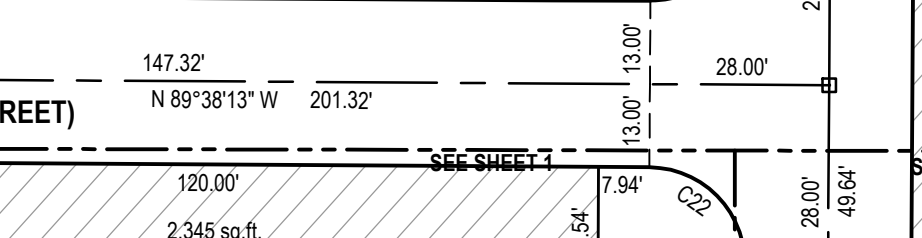
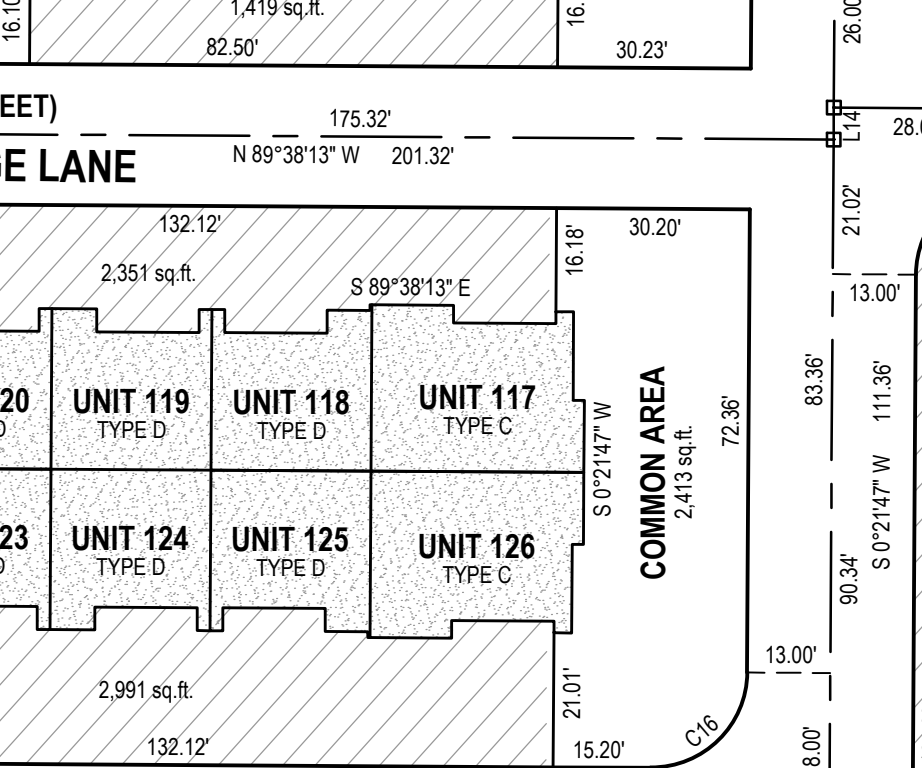
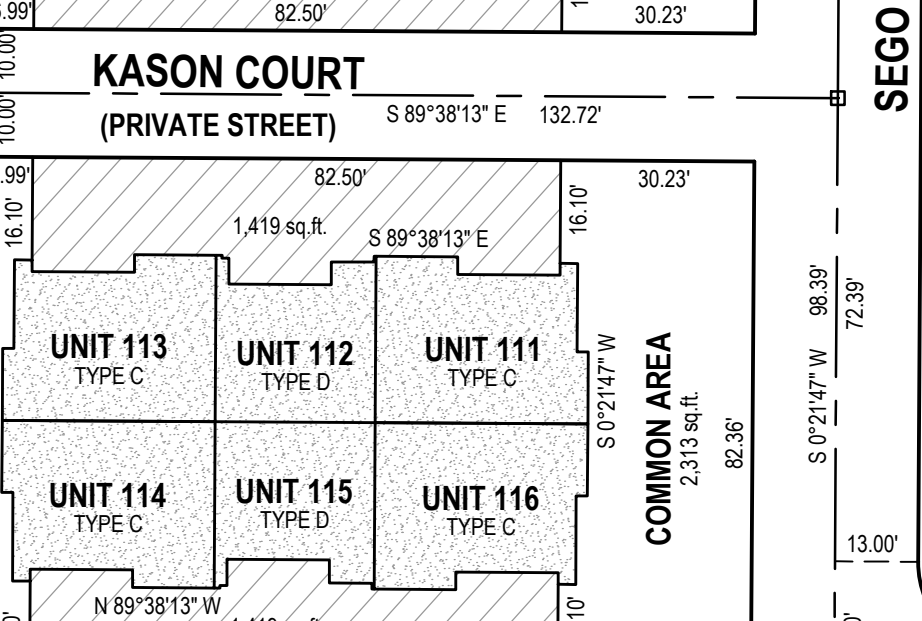
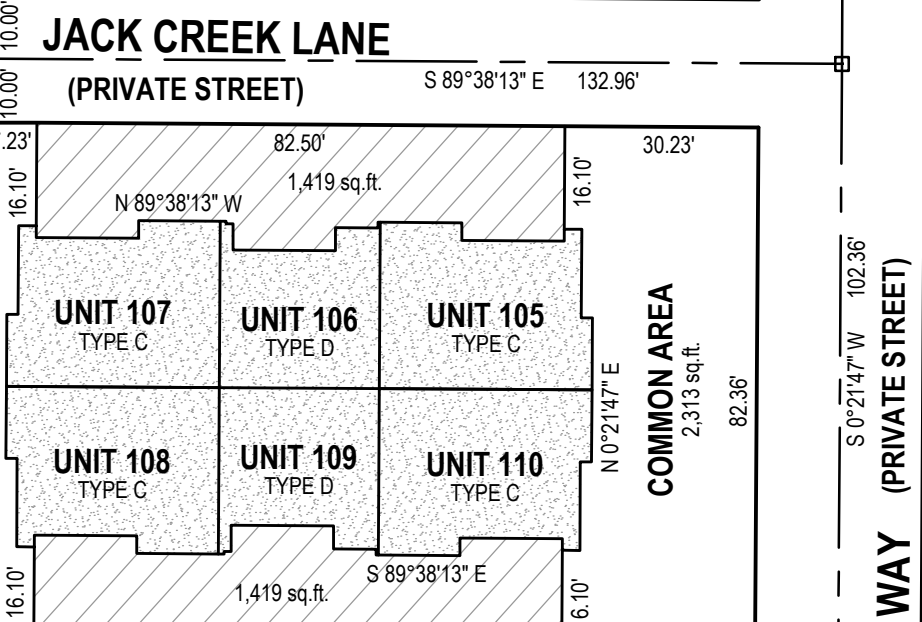
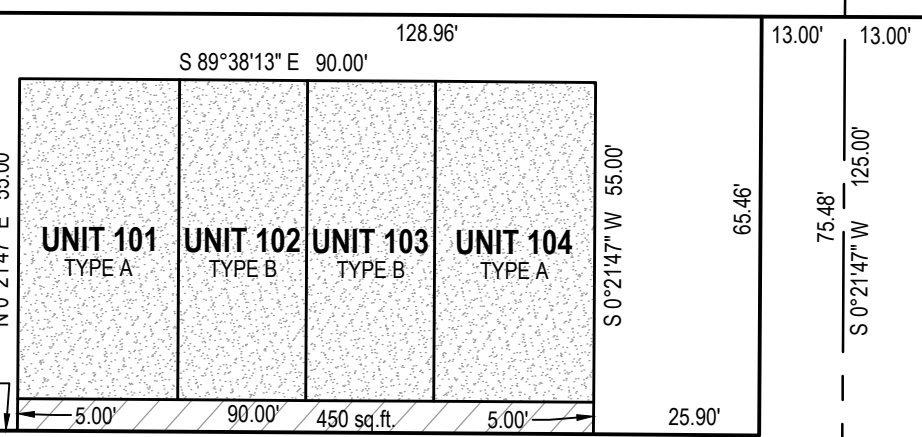
N 0°01'59" E 304.33'

SEE SHEET 1

BURKE LANE
(PUBLIC STREET)

S 89°38'13" E 333.94'

PARCEL A
32,485 sq.ft.
0.746 acres

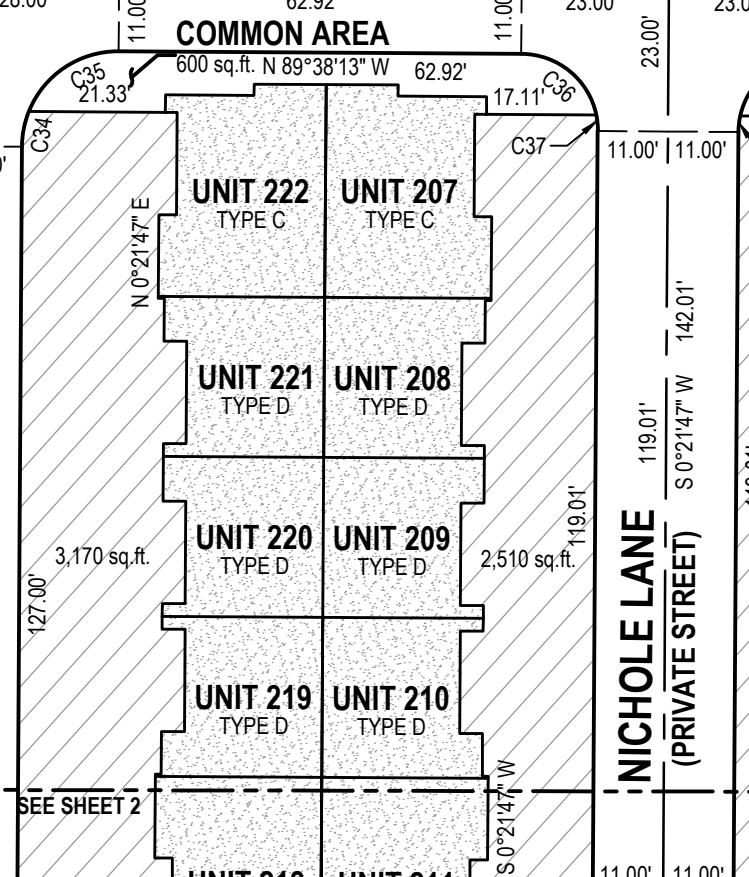


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08-060-0012

ROMNEY, MICHAEL H &
ROBYN F
08-060-0013

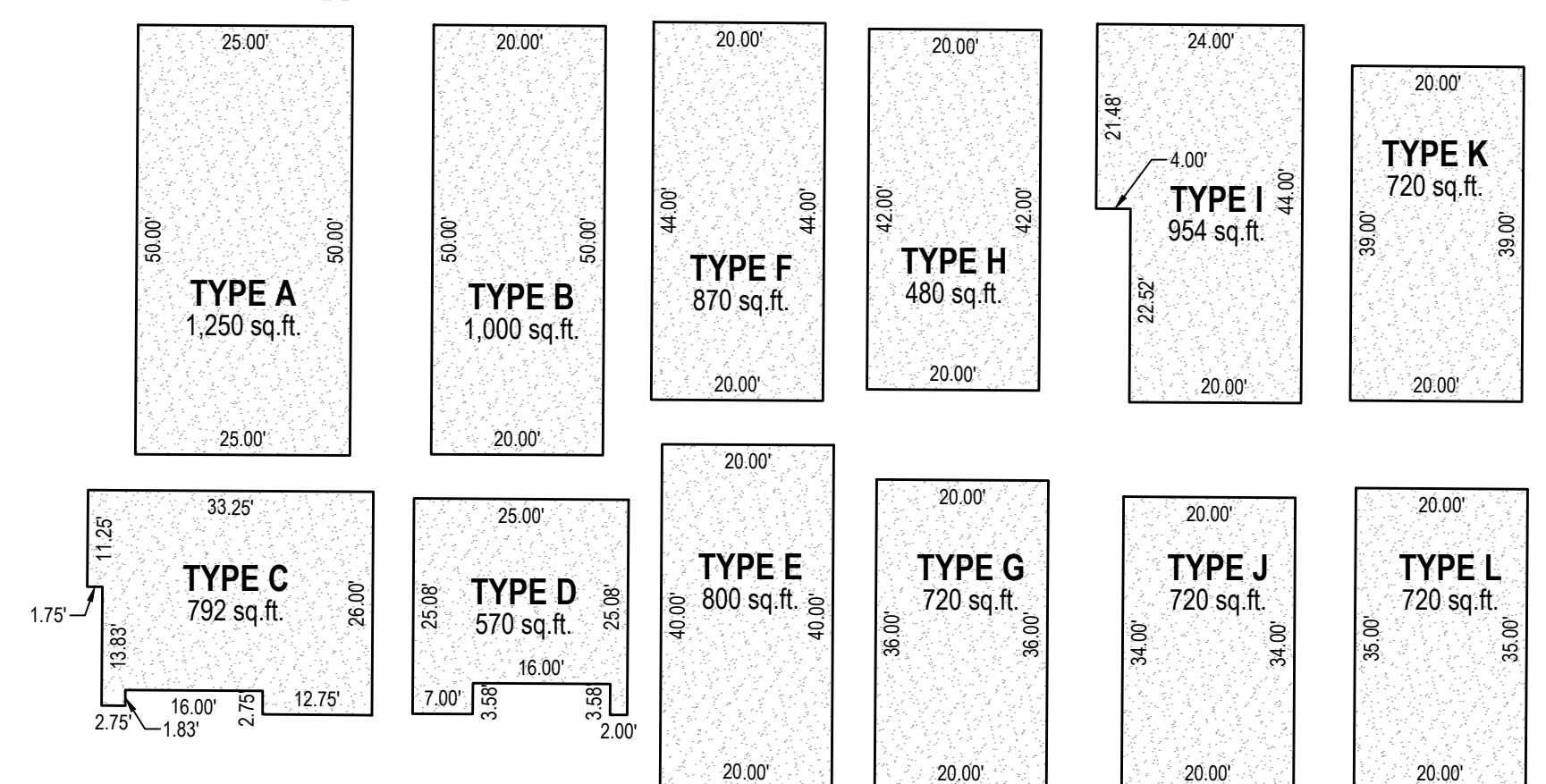
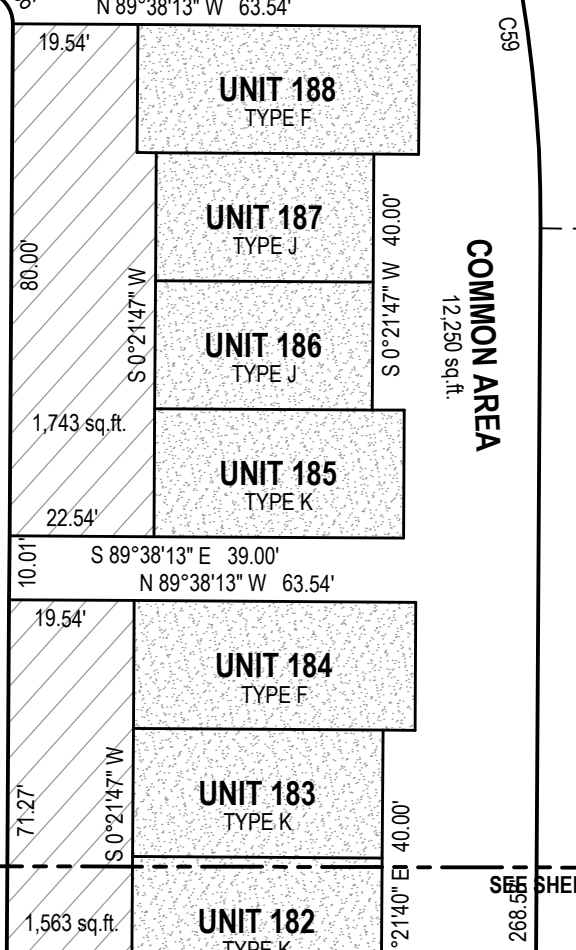
SEGO WAY
(PRIVATE STREET)

HENSON TRAIL LANE
(PRIVATE STREET)



NICHOLE LANE
(PRIVATE STREET)

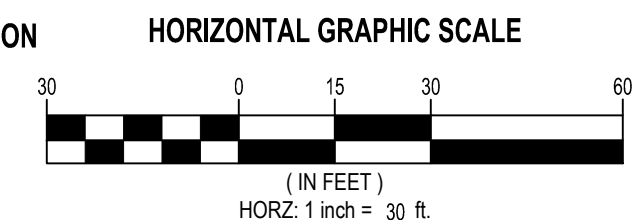
MANA THA TRAIL COURT
(PRIVATE STREET)



- LEGEND**
- SECTION CORNER
 - PROPOSED STREET MONUMENT
 - SET 5/8" REBAR WITH YELLOW PLASTIC CAP, OR NAIL STAMPED "ENSIGN ENG. & LAND SURV." AT ALL LOT CORNERS; OFFSET PINS TO PLACED IN BACK OF CURBS
 - BOUNDARY LINE
 - CENTER LINE
 - EASEMENTS
 - SECTION LINE
 - PRIVATE AREA
 - LIMITED COMMON AREA & PUE
 - COMMON AREA & PUE EXCLUDING PUBLIC ROADWAYS

D=9°15'47"
R=268.50
L=43.41'
CB=S 4°16'07" E
C=43.36'

DEVELOPER
CW MANAGEMENT CORPORATION
9071 S 1300 W
WEST JORDAN, UTAH 84088
801.984.5770



NORTH FARMINGTON STATION TOWNHOMES

LOCATED IN THE THE SOUTHEAST QUARTER OF SECTION 14
TOWNSHIP 3 NORTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
FARMINGTON CITY, DAVIS COUNTY, UTAH

DAVIS COUNTY RECORDER

ENTRY NO. _____ FEE _____
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DAVIS COUNTY RECORDER
BY _____ DEPUTY RECORDER



SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT, 84070
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LAYTON
Phone: 801.547.1100
TOOLE
Phone: 435.843.3590
CEDAR CITY
Phone: 435.865.1453
RICHFIELD
Phone: 435.896.2983

SHEET 3 OF 3
PROJECT NUMBER : 9030
MANAGER : BDM
DRAWN BY : SJL
CHECKED BY : PMH
DATE : 09/01/21

811
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK
SOUTH QUARTER CORNER OF SECTION 14,
TOWNSHIP 3 NORTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
ELEV = 4229.59'

ROAD IMPROVEMENTS
BY FARMINGTON CITY

1525 WEST STREET



GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOIL, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

TYPE OF DEVELOPMENT:
RESIDENTIAL PUD
UNIT COUNT

SINGLE FAMILY RESIDENTIAL = 0
TOWNHOMES = 122
CONDOMINIUMS = 0
TOTAL UNITS = 122
UNITS PER ACRE = 14

THIS AREA IS SUBJECT TO THE NORMAL EVERYDAY SOUNDS,
ODORS, SIGHTS, FACILITIES AND ASPECTS ASSOCIATED WITH
AN AGRICULTURAL LIFESTYLE. RESIDENTS SHOULD ALSO
RECOGNIZE THE RISKS INHERENT WITH LIVESTOCK

PARKING DATA TABLE

SURFACE PARKING	29
TOWNHOME DRIVE PARKING	134
TOTAL STALLS	163

SITE SUMMARY TABLE

DESCRIPTION	AREA (SF)	PERCENTAGE
PAVEMENT	134,557	36%
ROOF	89,074	23%
LANDSCAPING	153,489	41%
TOTAL SITE	377,120	100%
	8.66 ACRES	

EN SIGN
THE STANDARD IN ENGINEERING

SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

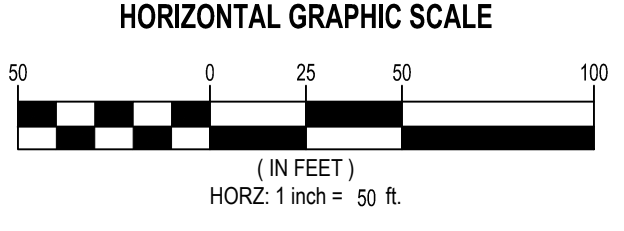
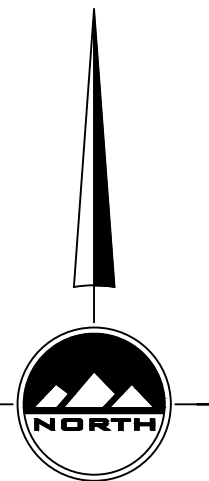
RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
CW MANAGEMENT
9071 SOUTH 1300 WEST, SUITE 100
WEST JORDAN, UTAH

CONTACT:
CHRIS MCCANDLESS
PHONE: 801-884-5770

**NORTH FARMINGTON STATION TOWNHOMES
FINAL PLAN
1400 WEST BURKE LANE
FARMINGTON, UTAH**



OVERALL SITE PLAN

PROJECT NUMBER: 9030
PRINT DATE: 4/1/22
DRAWN BY:
CHECKED BY:
PROJECT MANAGER:

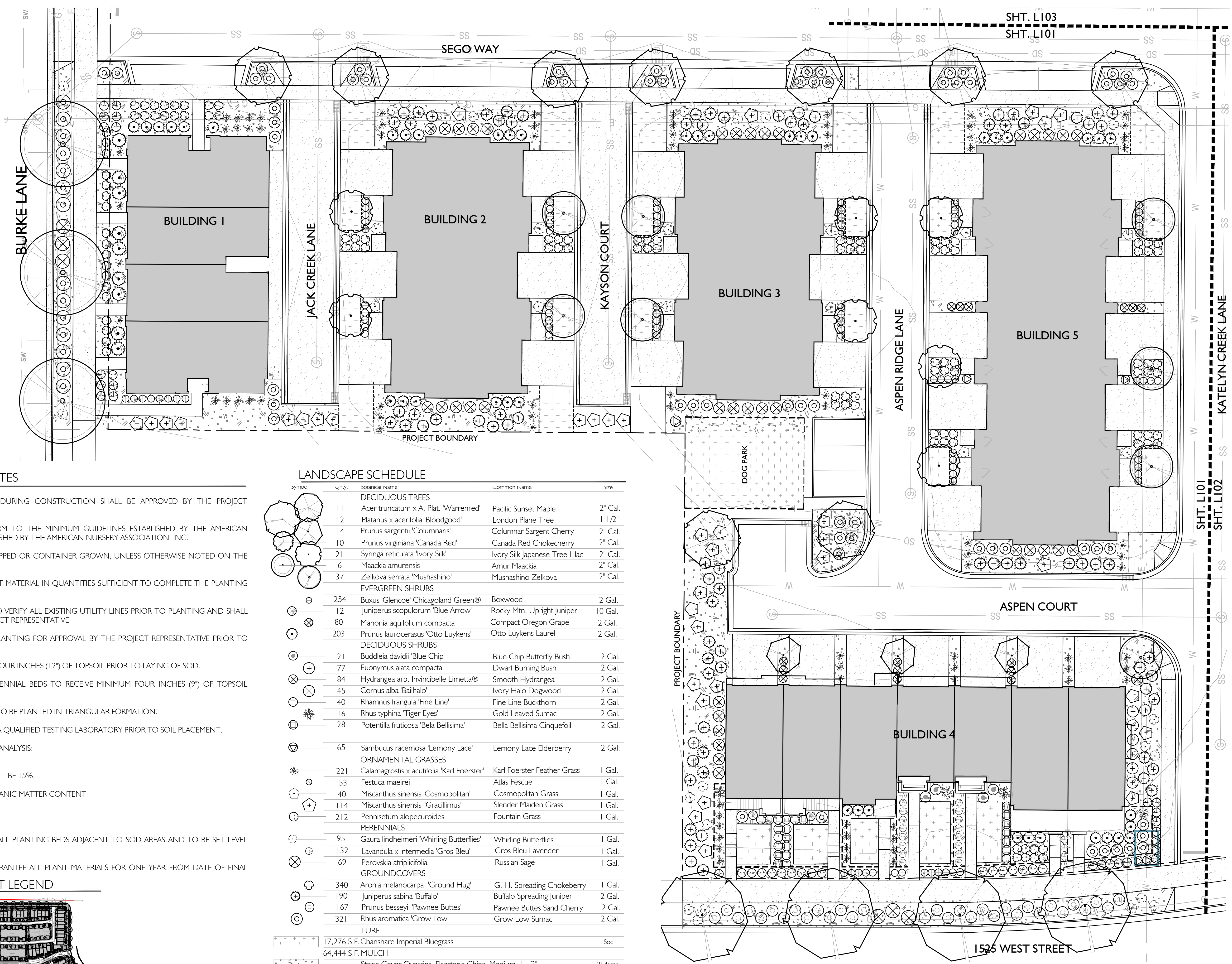
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ISSUE DESCRIP.	DATE
	3.30.2022

#	REV. DESCRIPTION	DATE

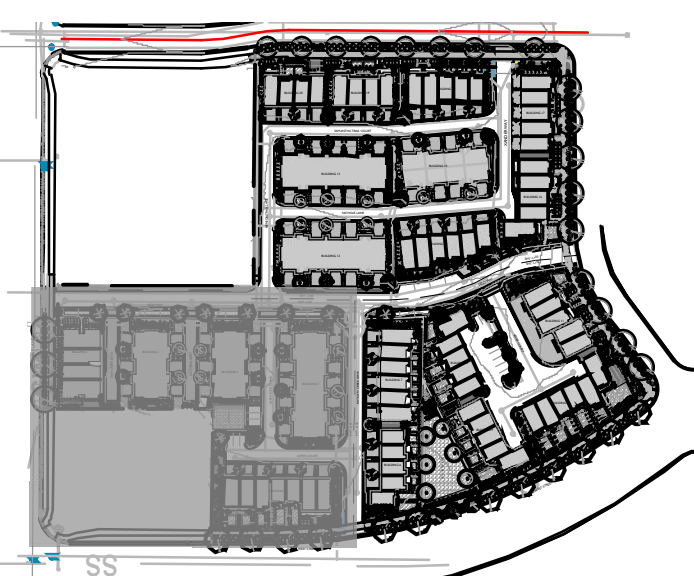
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LANDSCAPE GENERAL NOTES

- ALL ALTERATIONS TO THESE PLANS DURING CONSTRUCTION SHALL BE APPROVED BY THE PROJECT REPRESENTATIVE.
- ALL PLANT MATERIALS SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN NURSERY ASSOCIATION, INC.
- ALL PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE NOTED ON THE PLANT LIST.
- CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND SHALL REPORT AND CONFLICTS TO THE PROJECT REPRESENTATIVE.
- STAKE LOCATION OF ALL PROPOSED PLANTING FOR APPROVAL BY THE PROJECT REPRESENTATIVE PRIOR TO COMMENCEMENT OF PLANTING.
- ALL TURF AREAS TO RECEIVE MINIMUM FOUR INCHES (12") OF TOPSOIL PRIOR TO LAYING OF SOD.
- ALL SHRUB, GROUNDCOVER AND PERENNIAL BEDS TO RECEIVE MINIMUM FOUR INCHES (9") OF TOPSOIL PRIOR TO PLANTING.
- ALL GROUNDCOVER AND PERENNIALS TO BE PLANTED IN TRIANGULAR FORMATION.
- SUBMIT TOPSOIL REPORT PREPARED BY A QUALIFIED TESTING LABORATORY PRIOR TO SOIL PLACEMENT.
- TOPSOIL SHALL MEET THE FOLLOWING ANALYSIS:
SAND (0.05 - 2.0 mm Dia.) 20 - 70%
CLAY (0.002 - 0.05 mm Dia.) 20 - 70%
THE MAX. RETAINED ON A #10 SIEVE WILL BE 15%.
pH RANGE OF 5.5 TO 8.2
MINIMUM OF 4% AND MAX. OF 8% ORGANIC MATTER CONTENT
FREE OF STONE 3/4" OR LARGER
SOLUBLE SALTS <2 dS/m or mmho/cm
SODIUM ABSORPTION RATION (sar) <6.
- METAL EDGING TO OCCUR BETWEEN ALL PLANTING BEDS ADJACENT TO SOD AREAS AND TO BE SET LEVEL WITH TOP OF SOD.
- LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE YEAR FROM DATE OF FINAL INSPECTION.

PLAN SHEET LEGEND



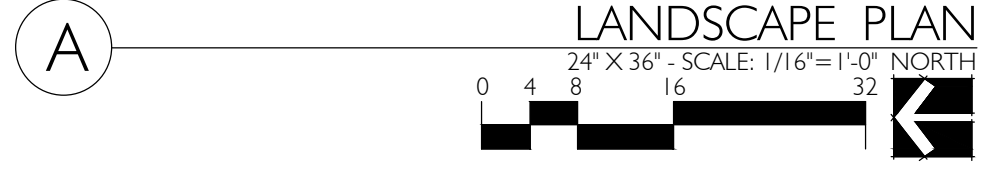
LANDSCAPE SCHEDULE

Symbol	Qty.	Botanical Name	Common Name	Size
DECIDUOUS TREES				
11	11	Acer truncatum x A. Plat. 'Warrenred'	Pacific Sunset Maple	2" Cal.
12	12	Platanus x acerifolia 'Bloodgood'	London Plane Tree	1 1/2"
14	14	Prunus sargentii 'Columnaris'	Columnar Sargent Cherry	2" Cal.
10	10	Prunus virginiana 'Canada Red'	Canada Red Chokecherry	2" Cal.
21	21	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2" Cal.
6	6	Maackia amurensis	Amur Maackia	2" Cal.
37	37	Zelkova serrata 'Mushashino'	Mushashino Zelkova	2" Cal.
EVERGREEN SHRUBS				
254	254	Buxus 'Glencoe' Chicagoland Green®	Boxwood	2 Gal.
12	12	Juniperus scopulorum 'Blue Arrow'	Rocky Mtn. Upright Juniper	10 Gal.
80	80	Mahonia aquifolium compacta	Compact Oregon Grape	2 Gal.
203	203	Prunus laurocerasus 'Otto Luykens'	Otto Luykens Laurel	2 Gal.
DECIDUOUS SHRUBS				
21	21	Buddleia davidii 'Blue Chip'	Blue Chip Butterfly Bush	2 Gal.
77	77	Euonymus alata compacta	Dwarf Burning Bush	2 Gal.
84	84	Hydrangea arb. 'Invincibelle Limetta®'	Smooth Hydrangea	2 Gal.
45	45	Cornus alba 'Bailhalo'	Ivory Halo Dogwood	2 Gal.
40	40	Rhamnus frangula 'Fine Line'	Fine Line Buckthorn	2 Gal.
16	16	Rhus typhina 'Tiger Eyes'	Gold Leaved Sumac	2 Gal.
28	28	Potentilla fruticosa 'Bella Bellissima'	Bella Bellissima Cinquefoil	2 Gal.
65	65	Sambucus racemosa 'Lemony Lace'	Lemony Lace Elderberry	2 Gal.
ORNAMENTAL GRASSES				
221	221	Calamagrostis x acutifolia 'Karl Foerster'	Karl Foerster Feather Grass	1 Gal.
53	53	Festuca maeirei	Atlas Fescue	1 Gal.
40	40	Miscanthus sinensis 'Cosmopolitan'	Cosmopolitan Grass	1 Gal.
114	114	Miscanthus sinensis 'Gracillimus'	Slender Maiden Grass	1 Gal.
212	212	Pennisetum alopecuroides	Fountain Grass	1 Gal.
PERENNIALS				
95	95	Gaura lindheimeri 'Whirling Butterflies'	Whirling Butterflies	1 Gal.
132	132	Lavandula x intermedia 'Gros Bleu'	Gros Bleu Lavender	1 Gal.
69	69	Perovskia atriplicifolia	Russian Sage	1 Gal.
GROUNDCOVERS				
340	340	Aronia melanocarpa 'Ground Hug'	G. H. Spreading Chokeberry	1 Gal.
190	190	Juniperus sabina 'Buffalo'	Buffalo Spreading Juniper	2 Gal.
167	167	Prunus besseyii 'Pawnee Buttes'	Pawnee Buttes Sand Cherry	2 Gal.
321	321	Rhus aromatica 'Grow Low'	Grow Low Sumac	2 Gal.
TURF				
	17,276 S.F.	Chanshare Imperial Bluegrass		Sod
64,444 S.F. MULCH				
		Stone Cover Quarries, Flagstone Chips, Medium, 1 - 2" - Alley and Side Yard Planter Beds		3" depth
		Wood Mulch, Medium, Brown - Front Yard Planter Beds		3" depth
EDGING				
		Metal - Aluminum, Mill Finish, 4" x 3/16"		
FENCING				

FARMINGTON STATION
FARMINGTON, UTAH

LANDSCAPE PLAN

L101



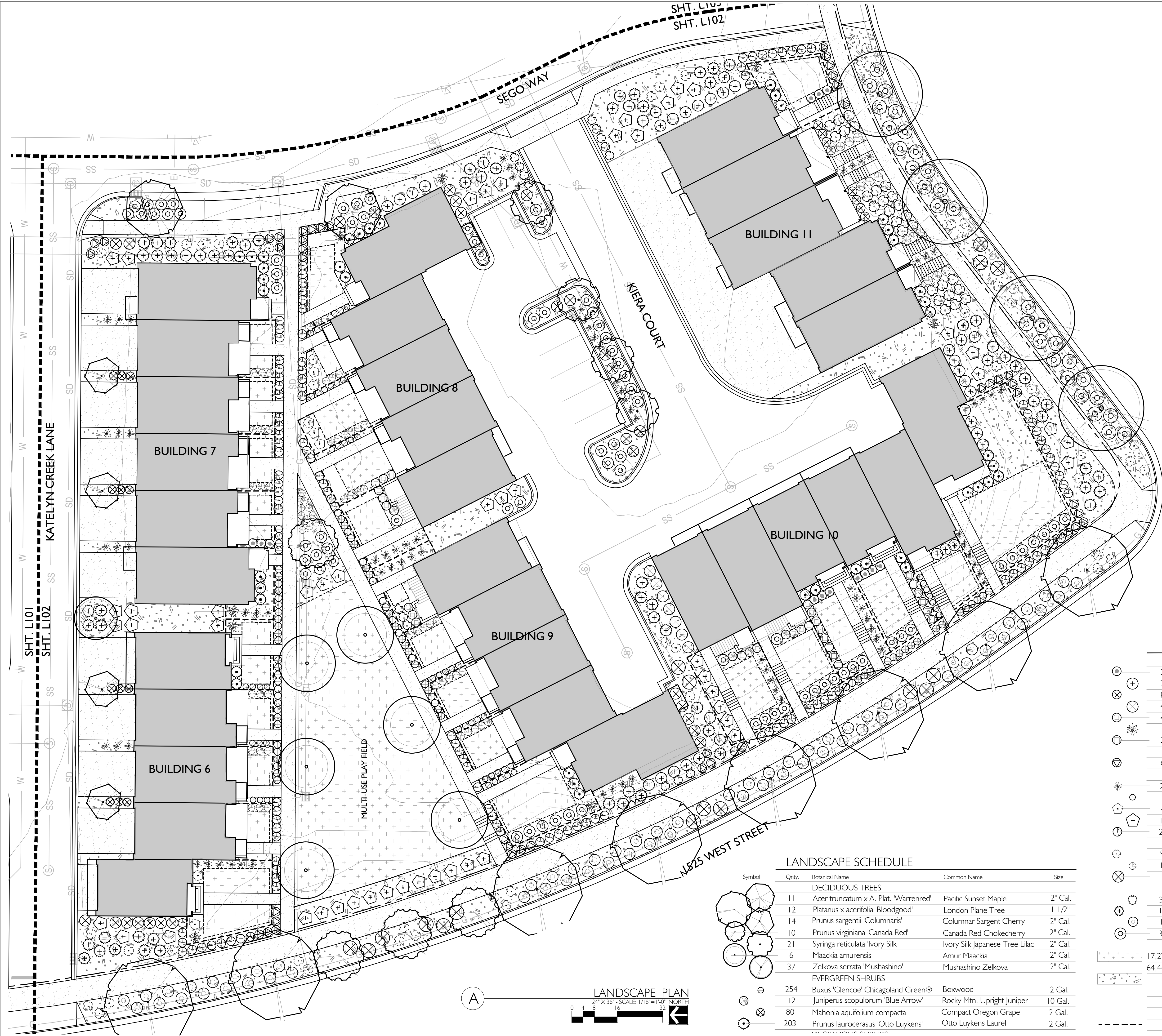
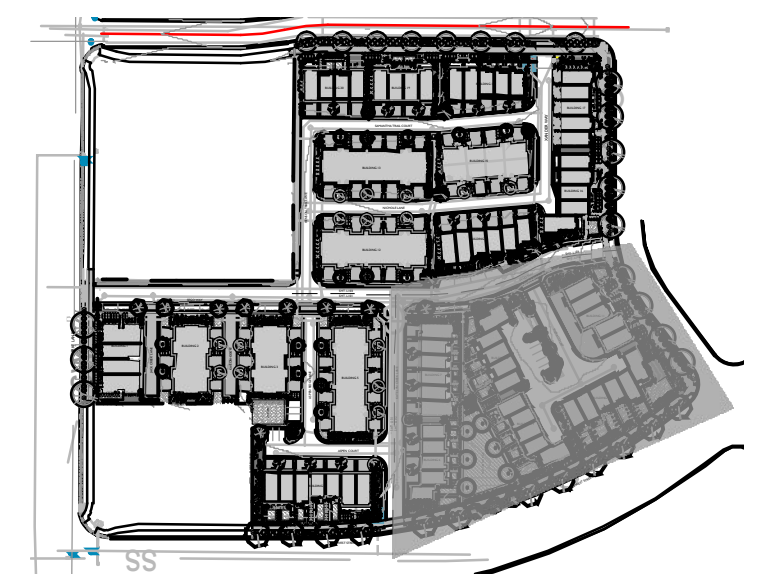


ISSUE	DESCRIP.	DATE
		3.30.2022

#	REV.	DESCRIPTION	DATE

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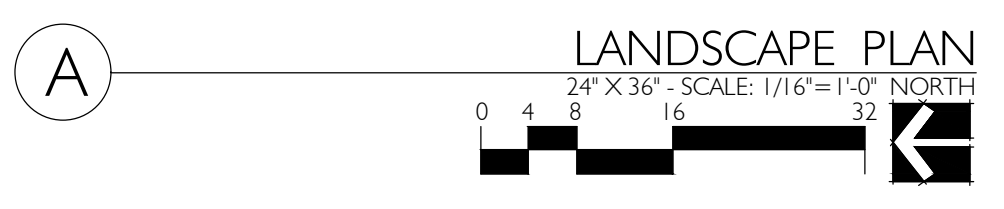
PLAN SHEET LEGEND



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○	84	Hydrangea arb. 'Invincibelle Limetta®'	Smooth Hydrangea	2 Gal.
○	45	Cornus alba 'Bailhalo'	Ivory Halo Dogwood	2 Gal.
○	40	Rhamnus frangula 'Fine Line'	Fine Line Buckthorn	2 Gal.
○	16	Rhus typhina 'Tiger Eyes'	Gold Leaved Sumac	2 Gal.
○	28	Potentilla fruticosa 'Bela Bellissima'	Bella Bellissima Cinquefoil	2 Gal.
ORNAMENTAL GRASSES				
○	65	Sambucus racemosa 'Lemony Lace'	Lemony Lace Elderberry	2 Gal.
○	221	Calamagrostis x acutifolia 'Karl Foerster'	Karl Foerster Feather Grass	1 Gal.
○	53	Festuca maeirei	Atlas Fescue	1 Gal.
○	40	Miscanthus sinensis 'Cosmopolitan'	Cosmopolitan Grass	1 Gal.
○	114	Miscanthus sinensis 'Gracillimus'	Slender Maiden Grass	1 Gal.
○	212	Pennisetum alopecuroides	Fountain Grass	1 Gal.
PERENNIALS				
○	95	Gaura lindheimeri 'Whirling Butterflies'	Whirling Butterflies	1 Gal.
○	132	Lavandula x intermedia 'Gros Bleu'	Gros Bleu Lavender	1 Gal.
○	69	Perovskia atriplicifolia	Russian Sage	1 Gal.
GROUNDCOVERS				
○	340	Aronia melanocarpa 'Ground Hug'	G. H. Spreading Chokeberry	1 Gal.
○	190	Juniperus sabinia 'Buffalo'	Buffalo Spreading Juniper	2 Gal.
○	167	Prunus besseyii 'Pawnee Buttes'	Pawnee Buttes Sand Cherry	2 Gal.
○	321	Rhus aromatica 'Grow Low'	Grow Low Sumac	2 Gal.
TURF				
○	17,276 S.F.	Chanshare Imperial Bluegrass		Sod
64,444 S.F. MULCH				
○		Stone Cover Quarries, Flagstone Chips, Medium, 1 - 2" - Alley and Side Yard Planter Beds		3" depth
○		Wood Mulch, Medium, Brown - Front Yard Planter Beds		3" depth
EDGING				
○		Metal - Aluminum, Mill Finish, 4" x 3/16"		



FARMINGTON STATION
FARMINGTON, UTAH

LANDSCAPE PLAN

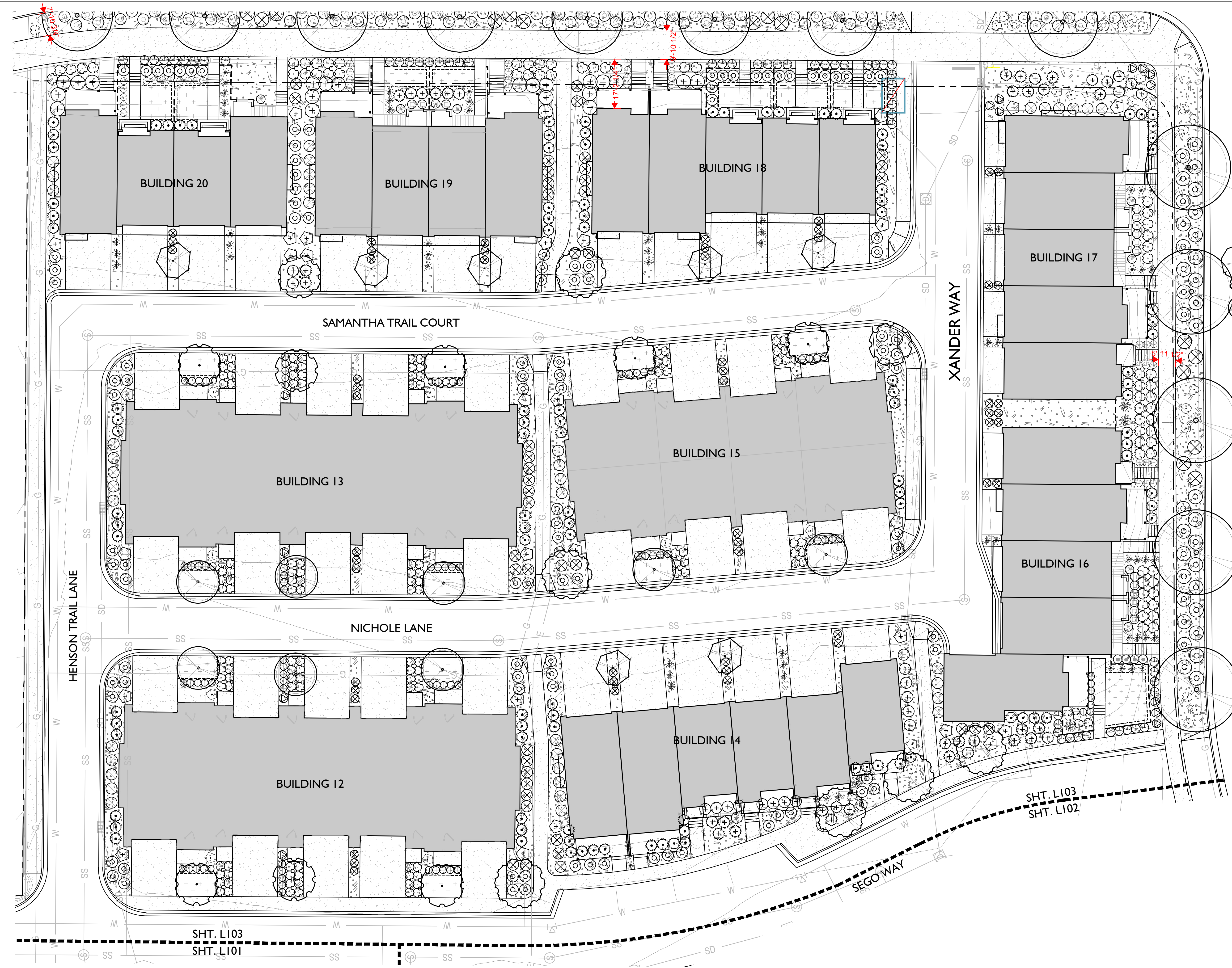
L102



ISSUE	DESCRIP.	DATE
		3.30.2022

#	REV.	DESCRIPTION	DATE

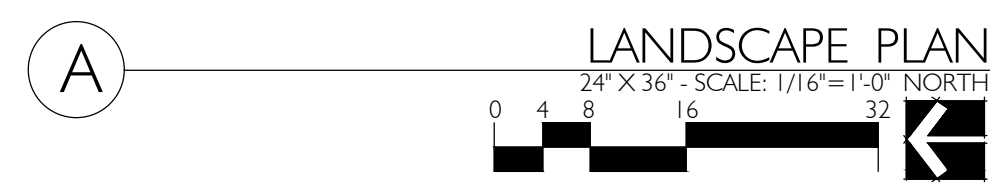
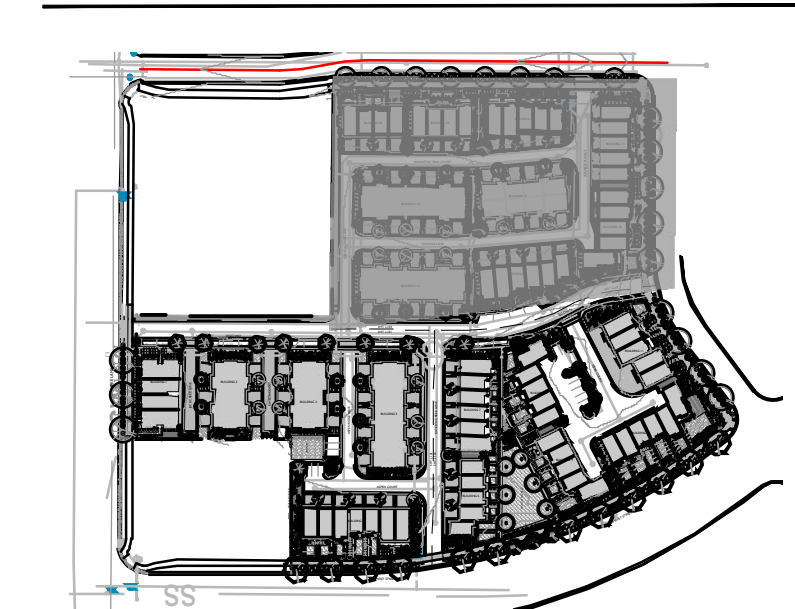
This drawing, as an instrument of professional service, and shall not be used, in whole or part, for any other project without the written permission of SCOTT THOMAS BLAKE DESIGN, L.L.C. Copyright © 2022.



LANDSCAPE SCHEDULE

Symbol	Qty.	Botanical Name
DECIDUOUS TREES		
○	11	Acer truncatum x A. Plat. 'Warrenred'
○	12	Platanus x acerifolia 'Bloodgood'
○	14	Prunus sargentii 'Columnaris'
○	10	Prunus virginiana 'Canada Red'
○	21	Syringa reticulata 'Ivory Silk'
○	6	Maackia amurensis
○	37	Zelkova serrata 'Mushashino'
EVERGREEN SHRUBS		
○	254	Buxus 'Glencoe' Chicagoland Green®
○	12	Juniperus scopulorum 'Blue Arrow'
○	80	Mahonia aquifolium compacta
○	203	Prunus laurocerasus 'Otto Luykens'
DECIDUOUS SHRUBS		
○	21	Buddleia davidii 'Blue Chip'
○	77	Euonymus alata compacta
○	84	Hydrangea arb. 'Invincibelle Limetta®'
○	45	Cornus alba 'Bailhalo'
○	40	Rhamnus frangula 'Fine Line'
○	16	Rhus typhina 'Tiger Eyes'
○	28	Potentilla fruticosa 'Bela Bellissima'
ORNAMENTAL GRASSES		
○	221	Calamagrostis x acutifolia 'Karl Foerster'
○	53	Festuca maeirei
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PERENNIALS		
○	95	Gaura lindheimeri 'Whirling Butterflies'
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○	69	Perovskia atriplicifolia
GROUNDCOVERS		
○	340	Aronia melanocarpa 'Ground Hug'
○	190	Juniperus sabinia 'Buffalo'
○	167	Prunus besseyii 'Pawnee Buttes'
○	321	Rhus aromatica 'Grow Low'

PLAN SHEET LEGEND



FARMINGTON STATION
FARMINGTON, UTAH

LANDSCAPE
PLAN

L103



Planning Commission Staff Report May 5, 2022

Item # 4: Zone Text Amendment—Definition of Kennel.

Public Hearing: Yes
Application No.: ZT-4-22
Applicant: Farmington City

Request: A recommendation to clarify what is considered a “Kennel” and where and when it is permitted.

Background Information

Recently the City received complaints related to more than one person/household allegedly keeping, boarding and/or breeding dogs. As part of its efforts to address these concerns staff realized more can be done to improve the City’s definition for the word “Kennel” and that the City should consider updating the Zoning Ordinance to include more information as to where and when kennels are permitted.

Suggested Motion

Move that the Planning Commission recommend that the City Council approve the enclosed enabling ordinance.

Findings

1. The City’s existing definition for the word “Kennel” from the Davis County Animal Control Ordinance which is part of City Code (Title 7) states: ““Kennel” means land or buildings used in the keeping of three (3) or more dogs, four (4) months or older. The proposed zone text amendment expands this definition by providing a reason. That is: for “boarding, breeding, training or other purposes”.
2. The amendment also places a reference to where and when kennels are permitted in Chapter 29 of the Zoning Ordinance (titled “Animals and Fowl”).

Supplemental Information

1. Draft Enabling Ordinance

DRAFT

FARMINGTON CITY, UTAH

ORDINANCE NO. _____

AN ORDINANCE AMENDING TEXT OF TITLE 11, ZONING REGULATIONS, OF THE FARMINGTON CITY ORDINANCES TO CLARIFY WHAT IS CONSIDERED A KENNEL AND WHERE AND WHEN IT IS PERMITTED.

WHEREAS, the Planning Commission has held a public hearing reviewed the proposed additional zoning text to clarify what is considered a Kennel and the Planning Commission recommended that these changes be approved by the City Council; and

WHEREAS, the Farmington City Council has also held a public hearing pursuant to notice and as required by law and deems it to be in the best interest of the health, safety, and general welfare of the citizens of Farmington to make the changes proposed;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF FARMINGTON CITY, STATE OF UTAH:

Section 1. Amendment. Sections 11-2-020 and 11-29-030 of the Farmington City Zoning Ordinance are hereby amended as set forth in **Exhibit “A”** attached hereto and by this reference made a part hereof

Section 2. Severability. If any provision of this ordinance is declared invalid by a court of competent jurisdiction, the remainder shall not be affected thereby.

Section 3. Effective Date. This ordinance shall take effect immediately upon publication or posting or 30 days after passage by the City Council, whichever comes first.

PASSED AND ADOPTED by the City Council of Farmington City, State of Utah, on this 17th day of May 2022.

FARMINGTON CITY

Brett Anderson, Mayor

ATTEST:

DeAnn Carlile, City Recorder

Exhibit "A"

Amendment

The following text shall be added into the list of definitions where it belongs alphabetically as part of section **11-2-020: DEFINITIONS OF WORDS AND TERMS:**

"Kennel" means land or buildings, whether private or commercial, used in the keeping of three or more dogs, which are four months of age or older for sale boarding, breeding, training or other purposes. The terms 'Kennel' and 'Boarding Kennel' may be used interchangeably throughout the ordinance.

Amendment

The underlined text shall be included into the zoning ordinance as outlined below.

11-29-030: GENERAL PROVISIONS:

The keeping of animals within Farmington City shall be permitted or prohibited as follows:

D. Number Permitted; Area, Zone Requirements: The following numbers and kinds of animals in the size areas described are presumed to meet the standards set forth in subsections B and C of this section. Boarding Kennels are permitted only where expressly listed as an allowed use within a zoning district. This presumption is rebuttable by the keeper proving that greater numbers of animals are being kept and meeting these standards, or by the city proving that equal or lesser number of animals are being kept in a manner not meeting these standards:



Planning Commission Staff Report May 5, 2022

Item 5: Laurel Cahoon – Request for recommendation of a Metes and Bounds Subdivision located at 877 N. Main St.

Public Hearing:	Yes
Application No.:	S-12-22
Property Address:	877 North Main Street
General Plan Designation:	LDR (Low Density Residential)
Zoning Designation:	LR (Large Residential)
Area:	0.47 Acres
Property Owner:	Laurel Cahoon
Agent:	Laurel Cahoon

Applicant is requesting a recommendation to subdivide their property to create 1 additional lot.

Background Information

The subject property is located on the west side of Main Street at the subject address. There is currently 1 single family home on the property with a detached garage. The applicant intends to keep the existing home and with the approval of the subdivision there would be an additional lot where 1 more could be built.

Conventional lots in this zone are 20,000 sq. ft. minimum, however the existing zoning allows for alternative lot standards if the applicant provides moderate income housing or some other public benefit (see FCC 11-11-050 (b)(1)(a)). In discussion with city staff, the applicant has provided a letter included with this report indicating their interest in pursuing the 'some other public benefit' route by offering to include her home on the 'Farmington City Historic Sites List' as it was built in 1928.

The applicant has demonstrated with a yield plan that the property can meet the subdivision yield plan standards of FCC 11-12-070 thus opening up for the ability to have some flexibility in the actual layout of the lots.

As proposed, the subdivision would leave the existing home and detached garage on a 13,339 sq. ft. lot with a new 6,808 sq. ft. lot created to the south of the existing home fronting Main Street.

Of note, 'The Rose' development that is surrounding this lot with 50 new homes has lots ranging in size from 3,600 sq. ft. to 7,000 sq. ft. most of which are under 5,200 sq. ft. in size.

Suggested Motion

Move that the Planning Commission recommend approval of the proposed Metes & Bounds Subdivision for the applicant subject to completing the listing of the historic home on the Farmington City Historic Sites List and participating in a pro-rata share of improvement costs based on the amount of Main Street Frontage for asphalt widening, curb, gutter, and sidewalk.

Findings:

1. The proposed public benefit is sufficient for a small subdivision gaining 1 additional lot needed to subdivide under the existing zone.
2. The proposed lots will be compatible and in fact larger than most new single family home lots being developed in the immediate area.
3. The properties maintain frontage on a public road (Main Street) and have access to utilities from that right of way.
4. There has previously been established additional access into the property from Penelope Court to the South to better facilitate access to the site.

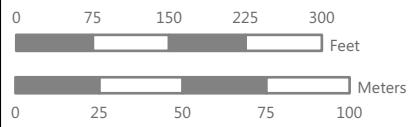
Supplementary Information

1. Vicinity Map
2. Yield Plan
3. Schematic Site Plan over Aerial
4. Metes & Bounds Subdivision Plat
5. Letter from Applicant indicating willingness to put home on historic sites list.



VICINITY MAP

877 North Main Street

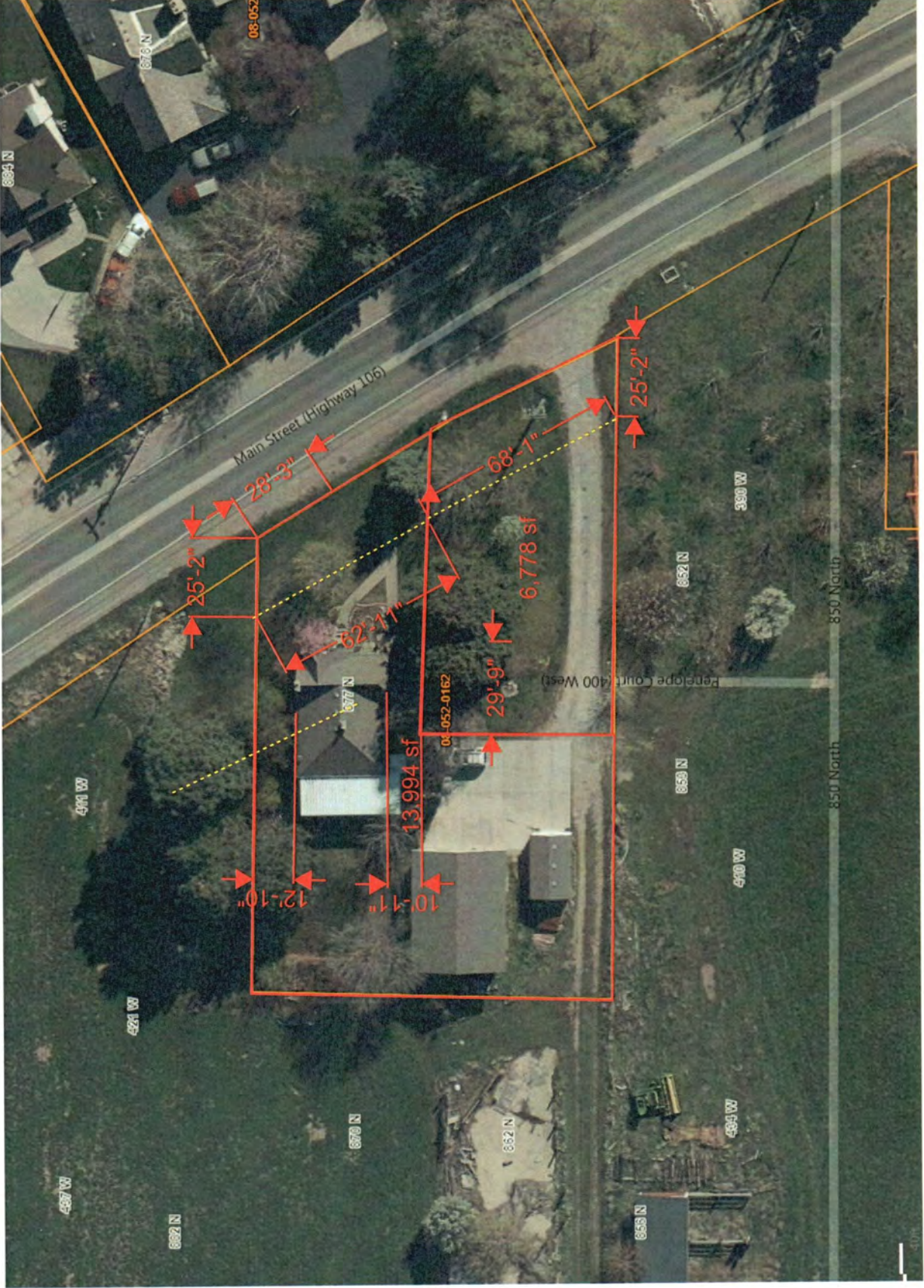


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YIELD PLAN



CONCEPT FOR SCHEMATIC OVER AERIAL



**Schematic
PRELIMINARY PLAT**

TO SHOW EXISTING PROPERTY AREA AND TWO PROPOSED LOTS
IN THE SE 1/4 OF SECTION 13, T.3 N., R.1 W., SLB&M.
4 APRIL 2022



EAST PARK LANE SUBDVN PHASE 3
(NOT YET RECORDED) 2022-3-25

N88°37'15"W 143.80' (DEED)

S88°37'15"E 139.70' (C)

S01°22'45"W 114.90' (D)

45.497' (C) SOUTH

N01°22'45"E 114.90' (D)

PN 08-052-0162
LAUREL CAHOON
WD RECORDED 4/13/2020
AS EN 3242027, MEASURED AREA 4-4-22
BK 7490 PG 2300
NORTH LOT-2022-4-4 0.46250 ACRE, M/L
13,339 SQ.FT.
0.30622 ACRE, M/L

DEEDED AREA
20,711 SQ.FT.
0.47546 ACRE, M/L

L=66.351'
R=3404.870'
Δ=1°07'00"
LCB=N32°34'10"W
LC=66.350'

N89°24'00"W 100.684'

SOUTH LOT-2022-4-4
6,808 SQ.FT.
0.15628 ACRE, M/L

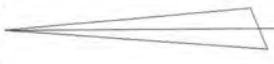
N89°24'00"W 77.465'

N89°24'00"W 136.039'

N89°24'00"W 213.504' (CALC'D)

S89°24'00"E 220.48' (DEED)

NORTH



NOT TO SCALE

STATE ROAD No. 106
(MAIN STREET)

877 NORTH

N33°01'58"W 135.65' (DEED LINE)

L=441.211'
R=3470.870'
Δ=7°17'00"
LCB=N30°10'41"W
LC=440.914'

L=432.821'
R=3404.870'
Δ=7°17'00"
LCB=N30°10'41"W
LC=432.529'

R/W LINE (M)
L=134.128'
R=3404.870'
Δ=2°15'25"
LCB=531°59'57"E
LC=134.119'

L=67.776'
R=3404.870'
Δ=1°08'26"
LCB=N31°26'28"W
LC=67.775'

26.7'

68.1'

26.1'

66'

PREPARED BY:
RICHARDSON SURVEYING, INC.
3448 SOUTH 100 WEST
BOUNTIFUL, UTAH 84010
801-518-6572

PREPARED FOR:
LAUREL CAHOON
877 NORTH MAIN ST.
FARMINGTON, UTAH 84025



945-WORKSHEET-PRELIM-PLAT-FOR-LAUREL-CAHOON.pdf
DATE: 4 APRIL 2022

To Whom it May Concern,

I am presenting this application for the division of my property to the City of Farmington in hopes that the city will mark it's benefits. As you may be aware, the city has approved a 50 home development, now called 'The Rose,' in the land surrounding my property that sits on North Main Street. In an attempt to 'roll with the punches' as these major changes happen around us, I believe the proposed changes to my own property may benefit both myself and the city. I propose to divide a portion of my property in order to build a small home that will provide financial benefits as well as complement my current home, a charming bungalow built in 1928 by the Hess family. It is my intention to build something that stylistically fits with the other historic homes found in Farmington along Main Street so that my small home looks less out of place surrounded by the larger new homes being built around it. I seek to include my current home on the City's historic properties list, which I believe will merit the building of an additional lot smaller than 10,000 sq. ft. by meeting 'some other benefit' as laid out in the city ordinance (code 11-11-050.)

I have been grateful for the assistance of the city in this matter, and look forward to working with the city further to ensure that the city and neighborhood benefit from the additional lot proposed.

Thank you,

Laurel Cahoon



Planning Commission Staff Report May 5, 2022

Item 6 : Juniper Estates – Preliminary Plat and Preliminary PUD Master Plan

Public Hearing: Yes
Application No.: S-1-22
Property Address: Approx: 400 S. 650 W.
General Plan Designation: RR (Rural Residential)
Zoning Designation: AE (Agricultural Estates)
Area: 3.15 Acres
Number of Lots: 6
Property Owner: Mary Ann Burningham Trust
Agent: Phil Holland/Holland Group

Request: *Applicant is requesting approval of a Preliminary Plat and a recommendation for Preliminary PUD Master Plan and for the proposed Juniper Estates Subdivision.*

Background Information

On March 3, 2022, The Planning Commission reviewed and recommended that the City Council approve the schematic subdivision plan for the proposed Juniper Estates Subdivision, and the Council approved the same on March 15, 2022.

Suggested Motion

Move that that Planning Commission approve the preliminary plat and recommend the City Council approve the Preliminary PUD Master Plan for the Juniper Estates Subdivision subject to all applicable Farmington City development standards and ordinances and the following:

1. The owner must meet all remaining City standards, including but not limited to, any outstanding DRC (Development Review Committee) comments.
2. The applicant shall move the location of the turnaround further to west, and design the east end of Juniper Drive to accommodate a possible/eventual local street connection through the center of the parcel to the south (Property I.D. #08-078-0064); and in so doing reconfigure lot 6, ideas for such may include, but are not limited to, a possible flag lot.
3. Applicant shall require/provide an ADU as approved by the City within at least one of the lots of the subdivision.
4. The City must approve, by agreement consistent with the standards contained in the Zoning Ordinance, one TDR Lot to replace the open space required for single-family PUDs.

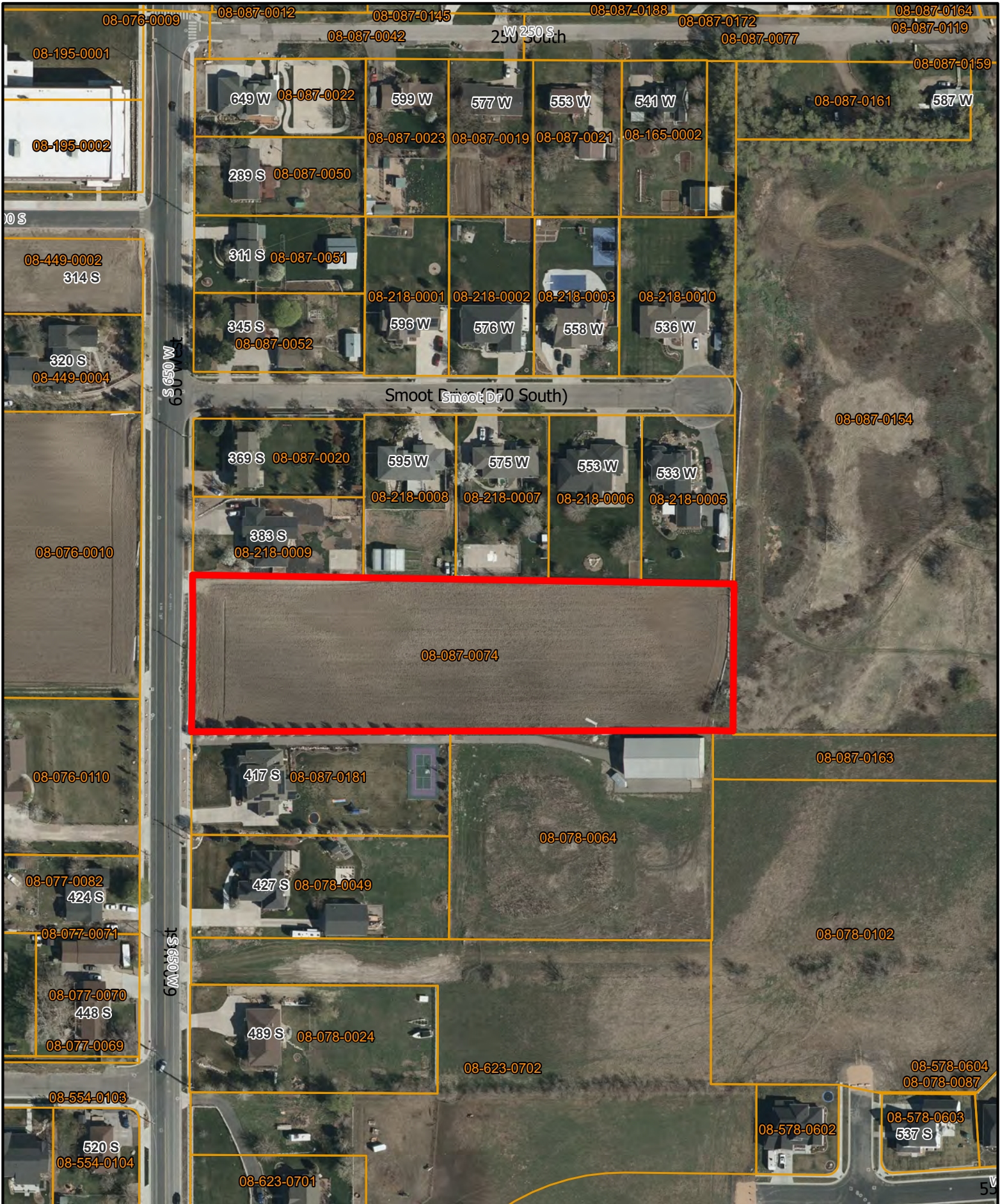
5. The preliminary plat shall become effective only upon approval of a Preliminary PUD Master Plan by the City Council.

Findings for Approval

1. A PUD will ensure quality design and transition treatments, such as fences, and will not detract from the existing housing stock in the vicinity.
2. The base lot amount may be achieved by a 10% set aside in open space for the PUD, or .315 acres. Arguably this is a small amount and it may also be difficult for an HOA consisting of just 5 or 6 lot owners to maintain long-term; replacing the open space through a TDR may be beneficial for the community overall.
3. Farmington benefits from the additional open space transferred off-site to the regional park, or possibly elsewhere via a cash payment acceptable to the City.
4. The subdivision provides a street to adjacent property which is now inaccessible, and such additional access improves public safety.

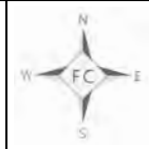
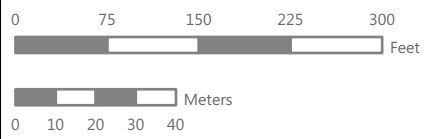
Supplemental Information

1. Vicinity Map
2. Preliminary Plat/Preliminary PUD Master Plan



VICINITY MAP

Juniper Estates

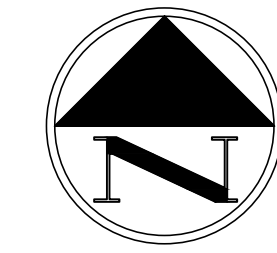


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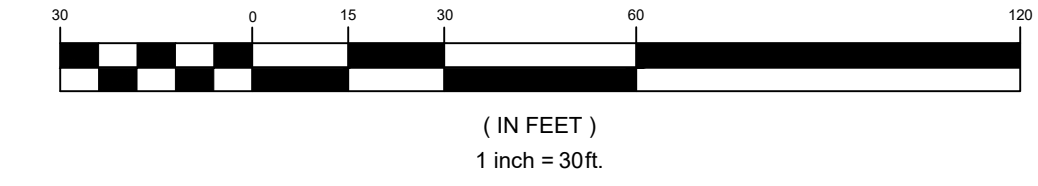
JUNIPER ESTATES SUBDIVISION

PRELIMINARY PLAT - NOT TO BE RECORDED

LOCATED IN THE NORTHEAST QUARTER OF SECTION 24,
TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
FARMINGTON CITY, DAVIS COUNTY, UTAH



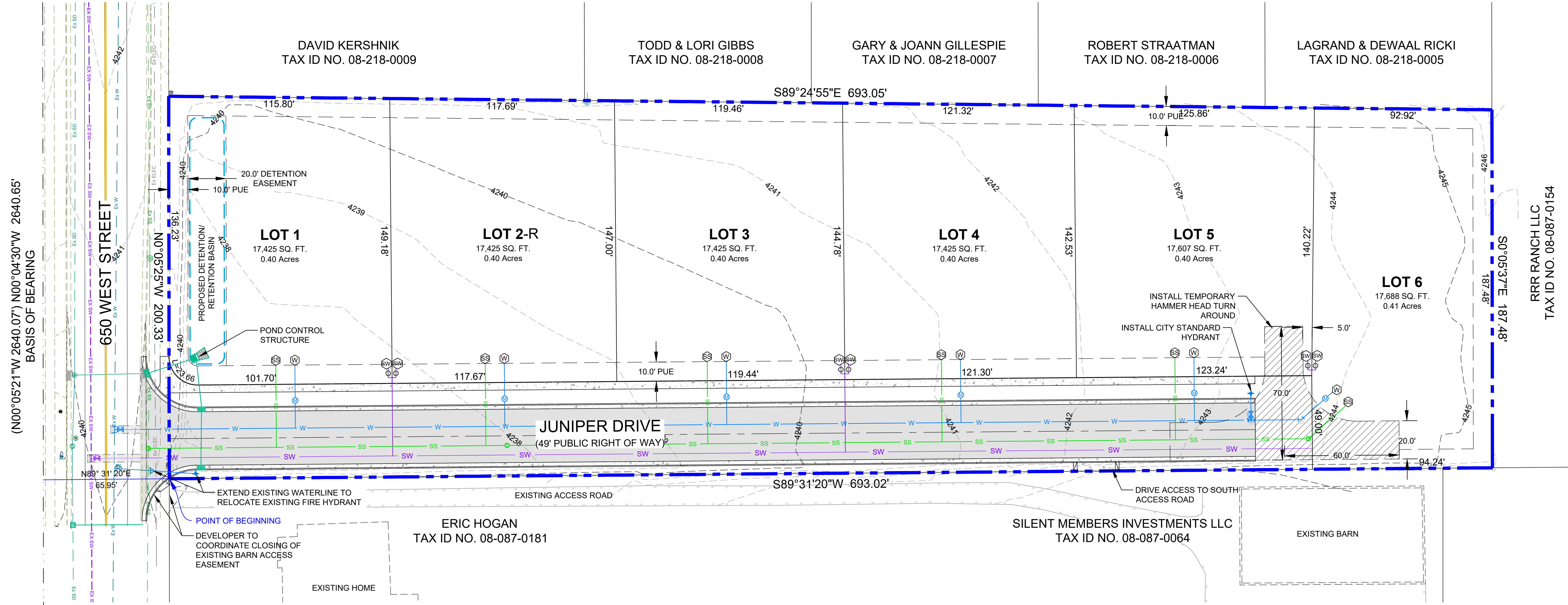
GRAPHIC SCALE



FOUND 1" MONUMENT IN TBC WEST WITNESS CORNER TO THE CENTER OF SECTION 24, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
N89°46'27"W 10.66'

FOUND BRASS CAP MONUMENT CENTER OF SECTION 24, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
N89°49'59"E 36.01'

FOUND 1" MONUMENT IN TBC WEST WITNESS CORNER TO THE CENTER OF SECTION 24, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN



(N00°05'21"W 2640.07') N00°04'30"W 2640.65'
BASIS OF BEARING
650 WEST STREET

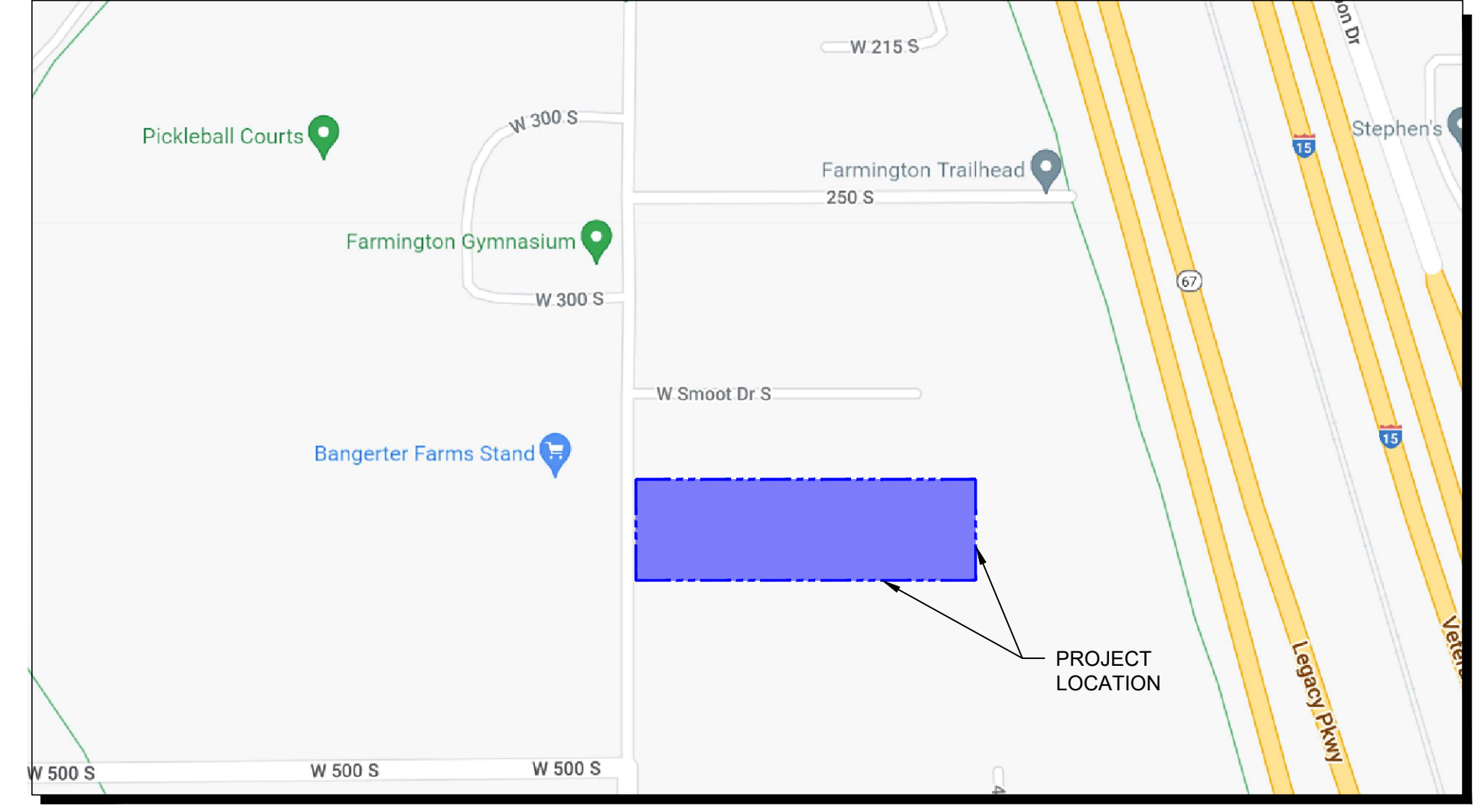
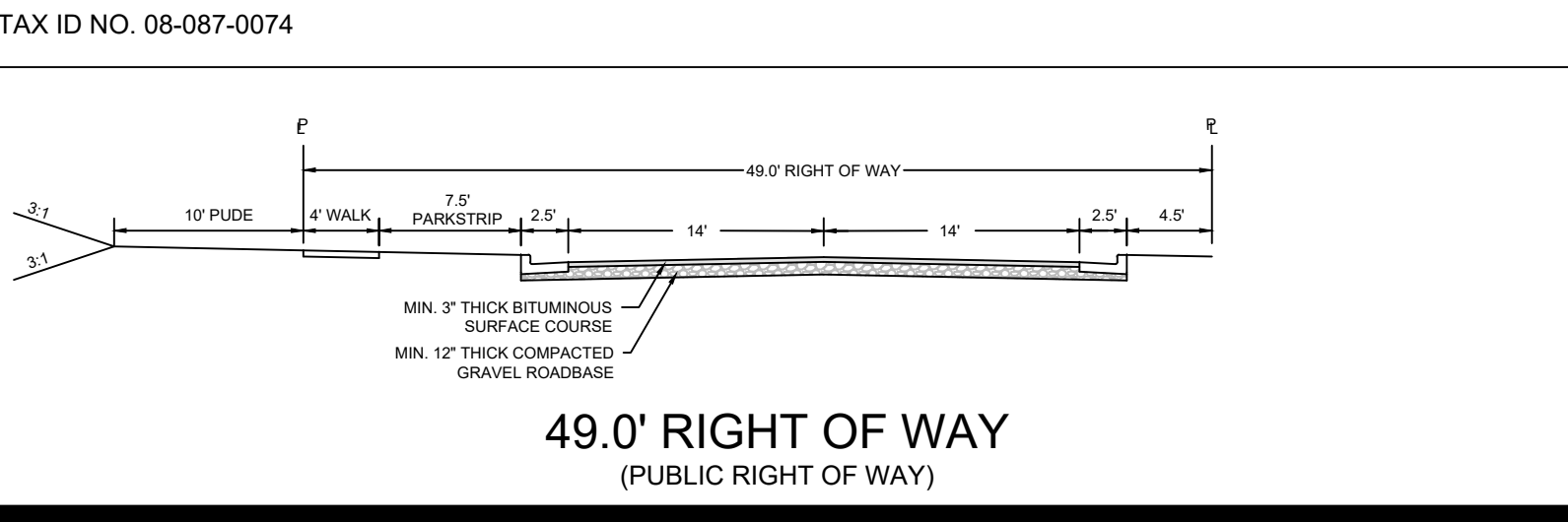
N89°31'20"E 65.95'
POINT OF BEGINNING

LEGEND

	OVERALL PROPERTY BOUNDARY
	CENTERLINE
	8" PVC C900 WATER LINE
	EXISTING 8" WATER LINE
	8" PVC SDR 35 SEWER LINE
	EXISTING 8" SEWER LINE
	8" PVC SDR 35 LAND DRAIN LINE
	EXISTING 8" LAND DRAIN LINE
	18" RCP CLASS III STORM DRAIN LINE
	EXISTING 18" STORM DRAIN LINE
	6" C900 DR-14 SECONDARY WATER LINE
	EXISTING SECONDARY WATER LINE
	4' or 5' Ø MANHOLE
	CITY STANDARD FIRE HYDRANT
	8" WATER/SECONDARY WATER VALVE
	INLET BASIN
	4" SEWER LATERAL
	3/4" WATER LAT W/ METER BOX PER DT2
	1.5" SECONDARY WATER LATERAL W/ METER PER SHEET DT3

- GENERAL NOTES**
- INSTALL 6" VINYL FENCE ALONG WEST AND SOUTH PROPERTY.
 - LOT 2 WILL CONTAIN AN ACCESSORY DWELLING UNIT (ADU) OR OTHER AFFORDABLE HOUSING.
- DETENTION REQUIREMENTS**
- 7,287 CF DETENTION REQUIRED (100 YEAR EVENT)
2,186 CF RETENTION REQUIRED

BOUNDARY DESCRIPTION
BEGINNING 2 CHAINS NORTH FROM THE SOUTHWEST CORNER OF LOT 1, BLOCK 12, PLAT "BC", FARMINGTON TOWNSHIP SURVEY, IN THE CITY OF FARMINGTON; AND RUNNING THENCE EAST 10.50 CHAINS; THENCE NORTH 3.0 CHAINS; THENCE WEST 10.50 CHAINS; THENCE SOUTH 3.0 CHAINS TO THE POINT OF BEGINNING.

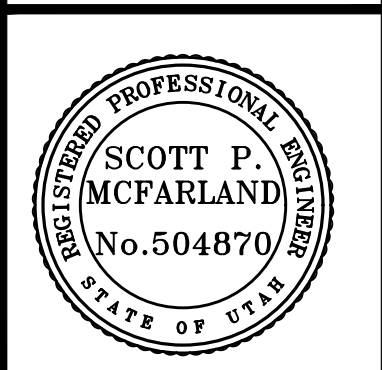


NO.	DATE	REVISION

DRAWING IS NOT TO SCALE IF BAR DOES NOT MEASURE 1 INCH

PRELIMINARY PLAT
JUNIPER ESTATES
FARMINGTON CITY, DAVIS COUNTY, UTAH

Scott P. McFarland, PE
Project Manager
347 East 1275 South
Kaysville, Utah 84037
801.726.6797 (M)
smp@mea.com



DESIGN: SPM
DRAWN: SPM
CHECKED: SRM
DATE: 12-11-21

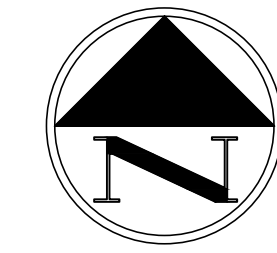
SHEET:
C1

C:\Users\Scott\Google Drive\1742 - Farmington Juniper\08-Cadd\00-Bases\Juniper Construction Set.dwg, Mar 30, 2022 - 10:59am

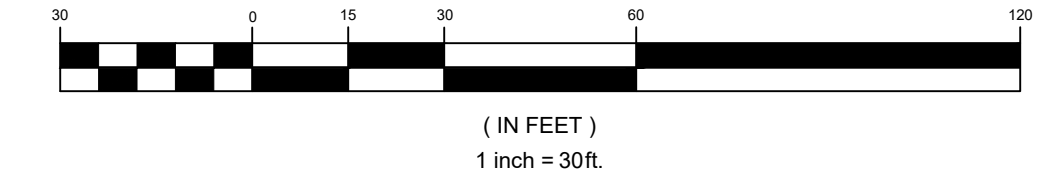
JUNIPER ESTATES SUBDIVISION

PRELIMINARY PLAT - NOT TO BE RECORDED

LOCATED IN THE NORTHEAST QUARTER OF SECTION 24,
TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
FARMINGTON CITY, DAVIS COUNTY, UTAH



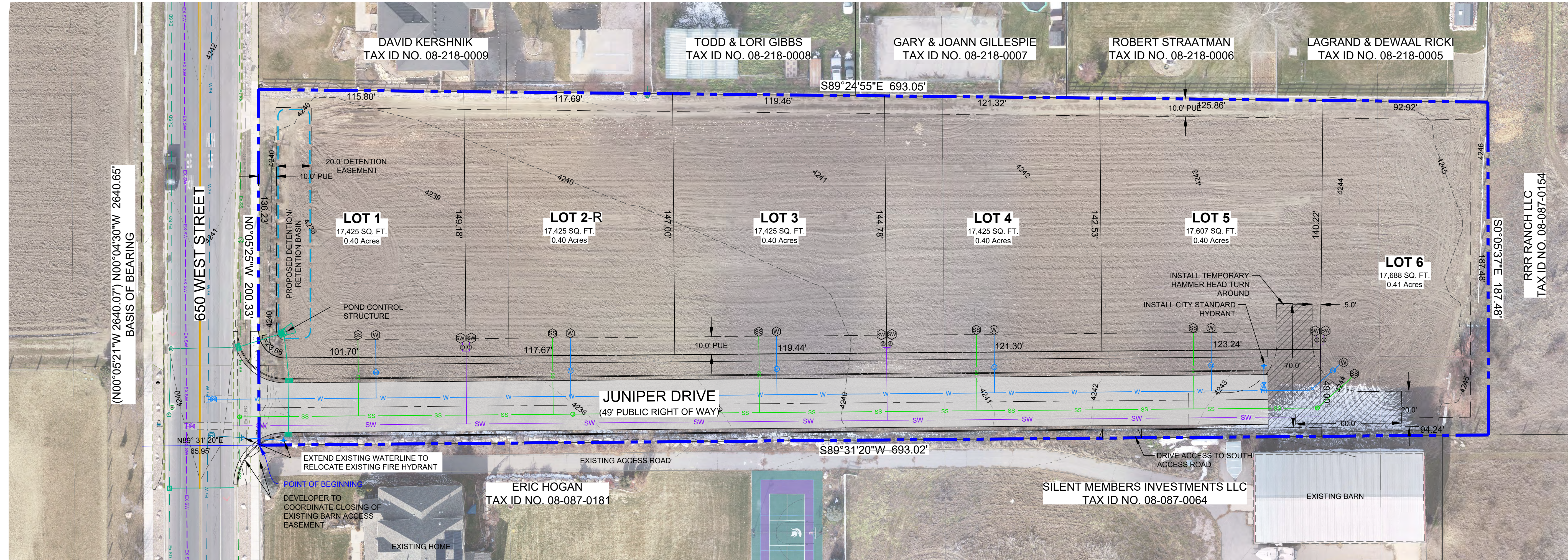
GRAPHIC SCALE



FOUND 1" MONUMENT IN TBC WEST WITNESS CORNER TO THE CENTER OF SECTION 24, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
N89°46'27"W 10.66'

FOUND BRASS CAP MONUMENT CENTER OF SECTION 24, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
N89°49'59"E 36.01'

FOUND 1" MONUMENT IN TBC WEST WITNESS CORNER TO THE CENTER OF SECTION 24, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN



(N00°05'21"W 2640.07') N00°04'30"W 2640.65'
BASIS OF BEARING

FOUND BRASS CAP MONUMENT SOUTH QUARTER CORNER, SECTION 24, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
N89°31'20"E 65.95'

NO.	DATE	REVISION

DRAWING IS NOT TO SCALE IF BAR DOES NOT MEASURE 1 INCH
0 12 1

PRELIMINARY PLAT
JUNIPER ESTATES
FARMINGTON CITY, DAVIS COUNTY, UTAH

Scott P. McFarland, PE
Project Manager
147 East 1275 South
Kaysville, Utah 84037
801.726.6797 (M)
smp@mea.com



DESIGN: SPM
DRAWN: SPM
CHECKED: SRM
DATE: 12-11-21

SHEET:
C1

LEGEND

	OVERALL PROPERTY BOUNDARY
	CENTERLINE
	8" PVC C900 WATER LINE
	EXISTING 8" WATER LINE
	8" PVC SDR 35 SEWER LINE
	EXISTING 8" SEWER LINE
	8" PVC SDR 35 LAND DRAIN LINE
	EXISTING 8" LAND DRAIN LINE
	18" RCP CLASS III STORM DRAIN LINE
	EXISTING 18" STORM DRAIN LINE
	6" C900 DR-14 SECONDARY WATER LINE
	EXISTING SECONDARY WATER LINE
	4' or 5' Ø MANHOLE
	CITY STANDARD FIRE HYDRANT
	8" WATER/SECONDARY WATER VALVE
	INLET BASIN
	4" SEWER LATERAL
	3/4" WATER LAT W/ METER BOX PER DT2
	1.5" SECONDARY WATER LATERAL W/ METER PER SHEET DT3

GENERAL NOTES

- INSTALL 6" VINYL FENCE ALONG WEST AND SOUTH PROPERTY.
- LOT 2 WILL CONTAIN AN ACCESSORY DWELLING UNIT (ADU) OR OTHER AFFORDABLE HOUSING.

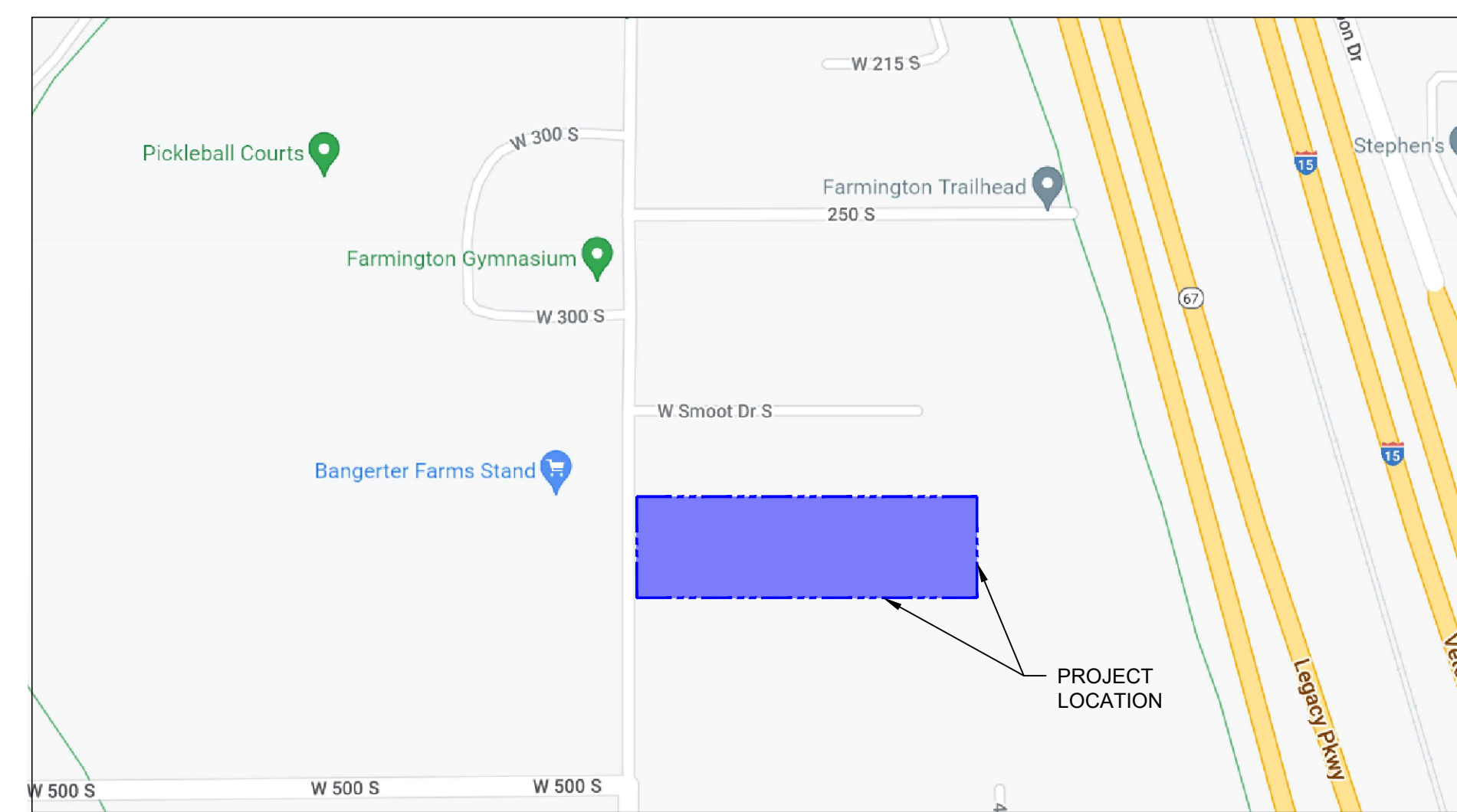
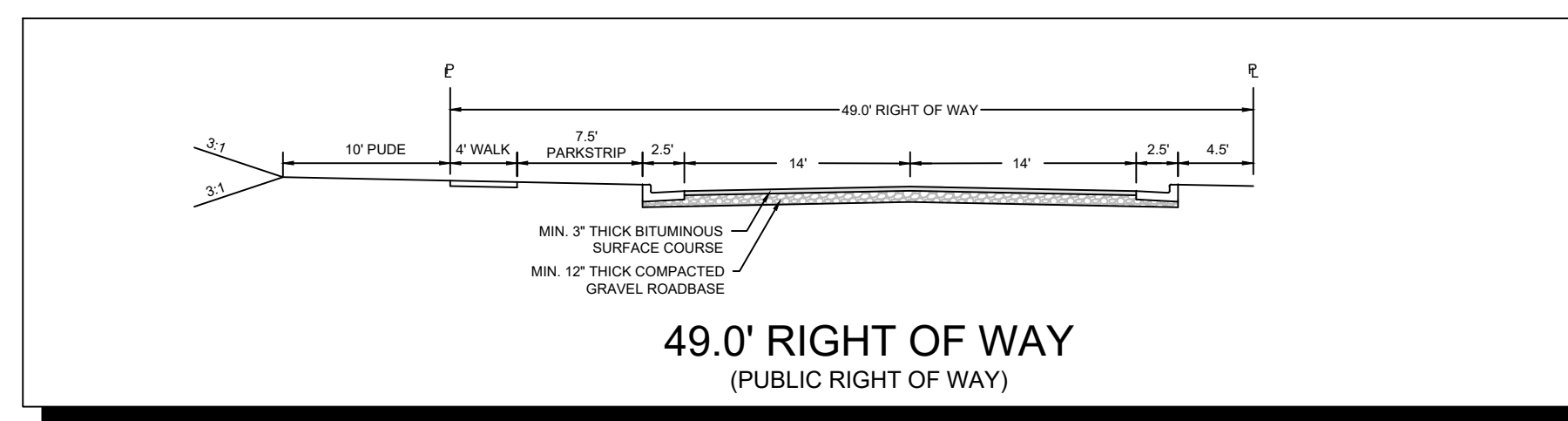
DETENTION REQUIREMENTS

- 7,287 CF DETENTION REQUIRED (100 YEAR EVENT)
- 2,186 CF RETENTION REQUIRED

BOUNDARY DESCRIPTION

BEGINNING 2 CHAINS NORTH FROM THE SOUTHWEST CORNER OF LOT 1, BLOCK 12, PLAT "BC", FARMINGTON TOWNSHIP SURVEY, IN THE CITY OF FARMINGTON; AND RUNNING THENCE EAST 10.50 CHAINS; THENCE NORTH 3.0 CHAINS; THENCE WEST 10.50 CHAINS; THENCE SOUTH 3.0 CHAINS TO THE POINT OF BEGINNING.

TAX ID NO. 08-087-0074

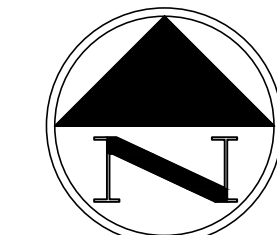


VICINITY MAP
(NOT TO SCALE)

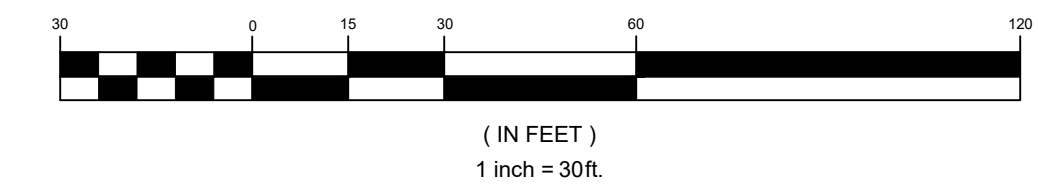
C:\Users\Scott\Google Drive\1742 - Farmington Juniper\08-Cadd\00-Bases\Juniper Construction Set.dwg, Mar 30, 2022 - 10:50am

JUNIPER ESTATES SUBDIVISION

PUD PLAN
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 24,
 TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
 FARMINGTON CITY, DAVIS COUNTY, UTAH



GRAPHIC SCALE



FOUND 1" MONUMENT IN TBC WEST WITNESS CORNER TO THE CENTER OF SECTION 24, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
 N89°46'27"W 10.66'

N89°49'59"E 36.01'

FOUND BRASS CAP MONUMENT CENTER OF SECTION 24, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

FOUND 1" MONUMENT IN TBC WEST WITNESS CORNER TO THE CENTER OF SECTION 24, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

(N00°05'21"W 2640.07') N00°04'30"W 2640.65'
 BASIS OF BEARING

650 WEST STREET

20.0' DETENTION EASEMENT
 10.0' PUE

LOT 1
 17,425 SQ. FT.
 0.40 Acres

LOT 2
 17,425 SQ. FT.
 0.40 Acres

LOT 3
 17,425 SQ. FT.
 0.40 Acres

LOT 4
 17,425 SQ. FT.
 0.40 Acres

LOT 5
 17,607 SQ. FT.
 0.40 Acres

LOT 6
 17,688 SQ. FT.
 0.41 Acres

INSTALL TEMPORARY HAMMER HEAD TURN AROUND

JUNIPER DRIVE
 (49' PUBLIC RIGHT OF WAY)

EXISTING ACCESS ROAD

SILENT MEMBERS INVESTMENTS LLC
 TAX ID NO. 08-087-0064

EXISTING BARN

ERIC HOGAN
 TAX ID NO. 08-087-0181

POINT OF BEGINNING
 DEVELOPER TO COORDINATE CLOSING OF EXISTING BARN ACCESS EASEMENT

EXISTING HOME

FOUND BRASS CAP MONUMENT SOUTH QUARTER CORNER, SECTION 24, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

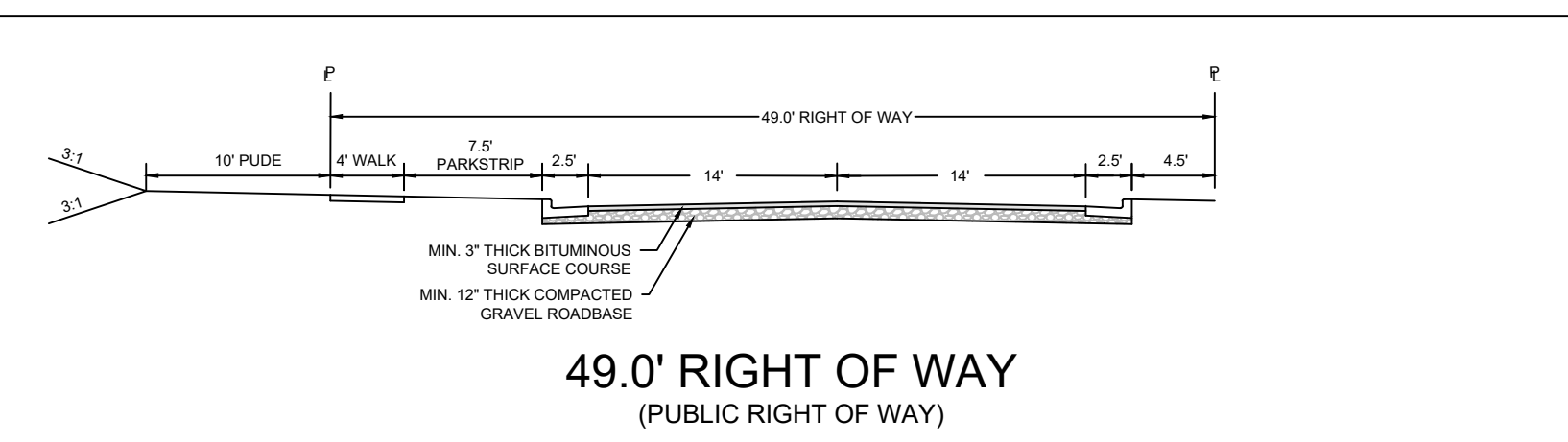
GENERAL NOTES

- INSTALL 6" VINYL FENCE ALONG WEST AND SOUTH PROPERTY.
- LOT 2 WILL CONTAIN AN ADU OR OTHER AFFORDABLE HOUSING.

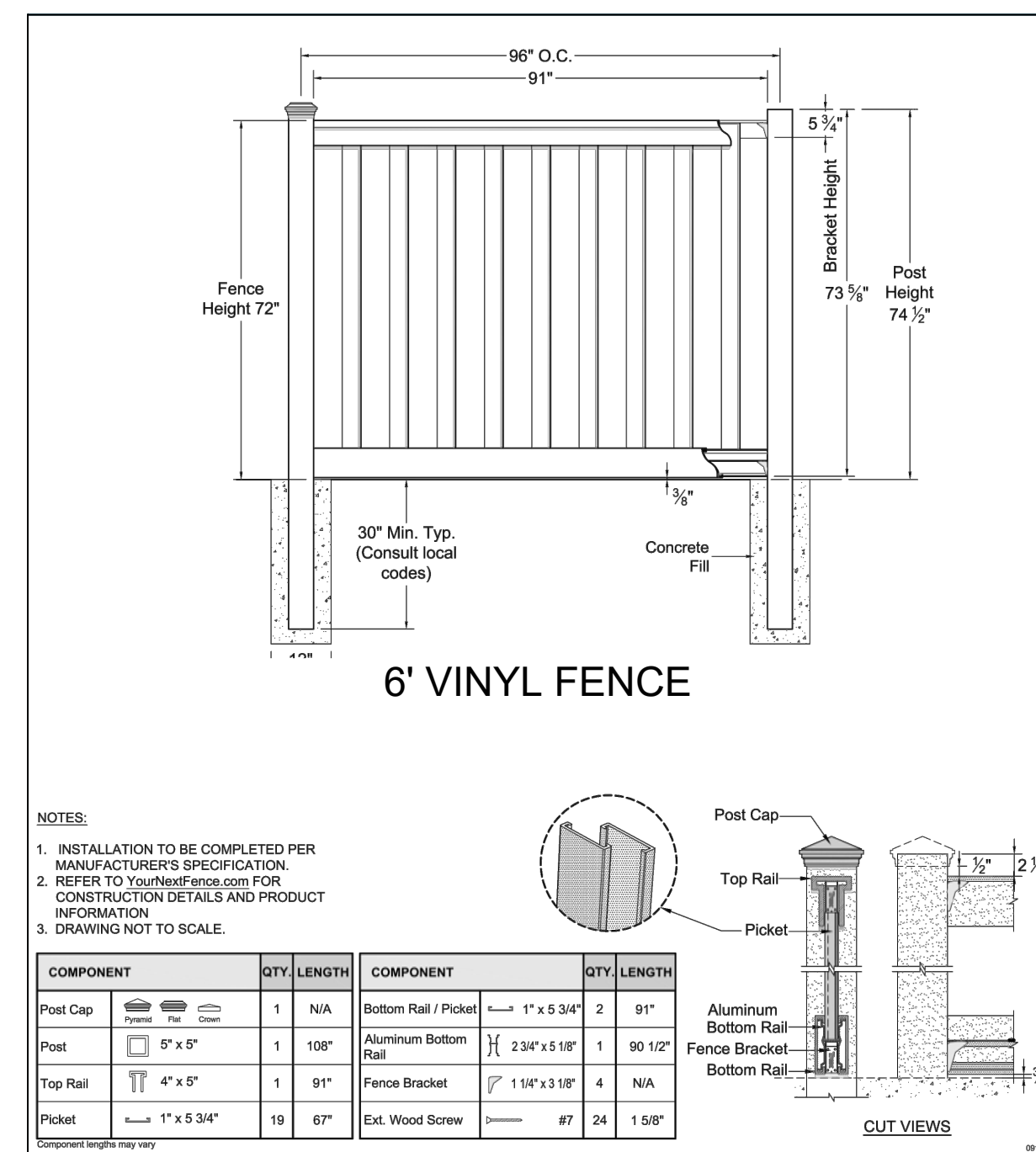
BOUNDARY DESCRIPTION

BEGINNING 2 CHAINS NORTH FROM THE SOUTHWEST CORNER OF LOT 1, BLOCK 12, PLAT "BC", FARMINGTON TOWNSITE SURVEY, IN THE CITY OF FARMINGTON; AND RUNNING THENCE EAST 10.50 CHAINS; THENCE NORTH 3.0 CHAINS; THENCE WEST 10.50 CHAINS; THENCE SOUTH 3.0 CHAINS TO THE POINT OF BEGINNING.

TAX ID NO. 08-087-0074



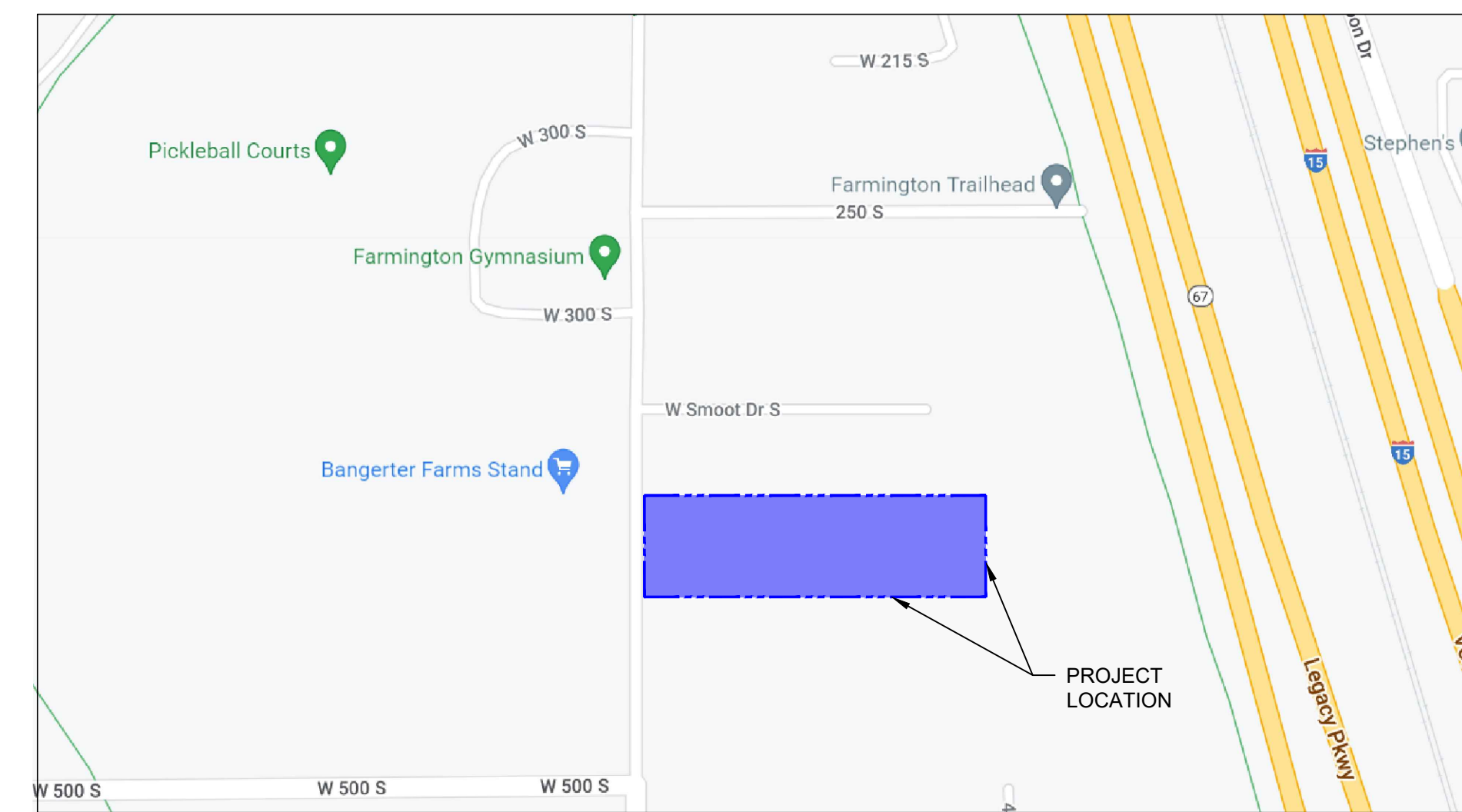
49.0' RIGHT OF WAY
 (PUBLIC RIGHT OF WAY)



NOTES:

- INSTALLATION TO BE COMPLETED PER MANUFACTURER'S SPECIFICATION.
- REFER TO www.fence.com FOR CONSTRUCTION DETAILS AND PRODUCT INFORMATION.
- DRAWING NOT TO SCALE.

COMPONENT	QTY	LENGTH	COMPONENT	QTY	LENGTH
Post Cap	1	N/A	Bottom Rail / Picket	2	91'
Post	1	108"	Aluminum Bottom Rail	1	90 1/2'
Top Rail	1	91'	Fence Bracket	4	N/A
Picket	19	67"	Ext. Wood Snow	24	1 5/8"



VICINITY MAP
 (NOT TO SCALE)

REVISION
 DATE
 NO.

DRAWING IS NOT TO SCALE IF BAR DOES NOT MEASURE 1 INCH
 0 12 1

PUD PLAN
JUNIPER ESTATES
 FARMINGTON CITY, DAVIS COUNTY, UTAH

Scott P. McFarland, PE
 Project Manager
 347 East 1275 South
 Kaysville, Utah 84037
 801.726.6797 (P)
 smc@mea.com



DESIGN: SPM
 DRAWN: SPM
 CHECKED: SRM
 DATE: 12-11-21

SHEET:
C2



Planning Commission Staff Report May 5, 2022

Item 7: Rezone of a lot from the OTR (Original Townsite Residential) to the BR (Business/Residential) Zone.

Public Hearing:	Yes
Application No.:	Z-3-22
Property Address:	174 East State Street (Parcel 07-031-0105)
General Plan Designation:	MU/B (Mixed Use – Business, Med Density Residential, Light Commercial)
Zoning Designation:	OTR (Original Townsite Residential)
Area:	0.31 Acres
Number of Lots:	1
Property Owner:	Travis Tanner

Request: *The property owner is seeking a recommendation from the Planning Commission to rezone the back portion of their property to the BR zoning district to eventually be subdivided from the existing home.*

Background Information

Update:

This item was tabled from the 4/14/22 Planning Commission meeting on the recommendation from staff that there be additional information to inform why the rezone was necessary and what it may accommodate.

Since meeting last with the Planning Commission, the applicant has been in contact with staff to confirm that they are just interested in rezoning the back portion of the property as was originally noticed and they have provided staff with a draft agreement that would provide access to the back portion of their property from the townhome development to the east.

As the letter is only in draft form dating back nearly 2 years, and as it was not intended for day to day ingress it has not at least to the satisfaction of city staff resolved the question of what development this may accommodate and whether or not that development would be desirable to the city.

Original Report:

The subject property is the deepest lot along the south side of State Street between Highway 106 as it bends south and 200 East Street.

The owners are ultimately interested in dividing their property such that the existing home along State Street remains on a smaller lot while the back portion of the property could be sold at some point for future development. Based on the existing lot width and available access the most likely scenario for development of this property would be to have adjacent property owners to the east or west combine it with their property.

While the requested rezone seems to be consistent with a gap in the boundary of the BR zoning district in this area, there are some nuances to understand in consideration of the rezone.

The applicant's property contains a total of 13,503 sq. ft. The existing OTR zone has a minimum lot size of 10,000 sq. ft., and the requested zone has a minimum lot size for a single family home of 8,000 sq. ft. While the subdivision of the property is not currently being requested, understanding how this may happen in the future is relevant. The city would either be setting the grounds for a non-conforming lot or is assuming that only 3,500 – 5,500 sq. ft. of property will be absorbed into another property for future development as it cannot develop on its own.

Modifying the zone boundary at this point in time would simply put multiple zones over the subject property creating challenges in administration of zoning regulations as it cannot develop further on its own as requested. It is unknown how the request may benefit future development as it is not known if there is need or interest to absorb any portion of this property, let alone how much property or in what configuration.

The regulations of the OTR zoning district which this property is currently part of can be found in [FCC 11-17](#). It primarily permits single family residential and agricultural uses.

The regulations of the requested BR zoning district can be found in [FCC 11-15](#). This zone allows for some limited commercial and residential uses.

A rezone request is a legislative matter to which the Planning Commission provides a recommendation to the City Council.

Suggested Motion:

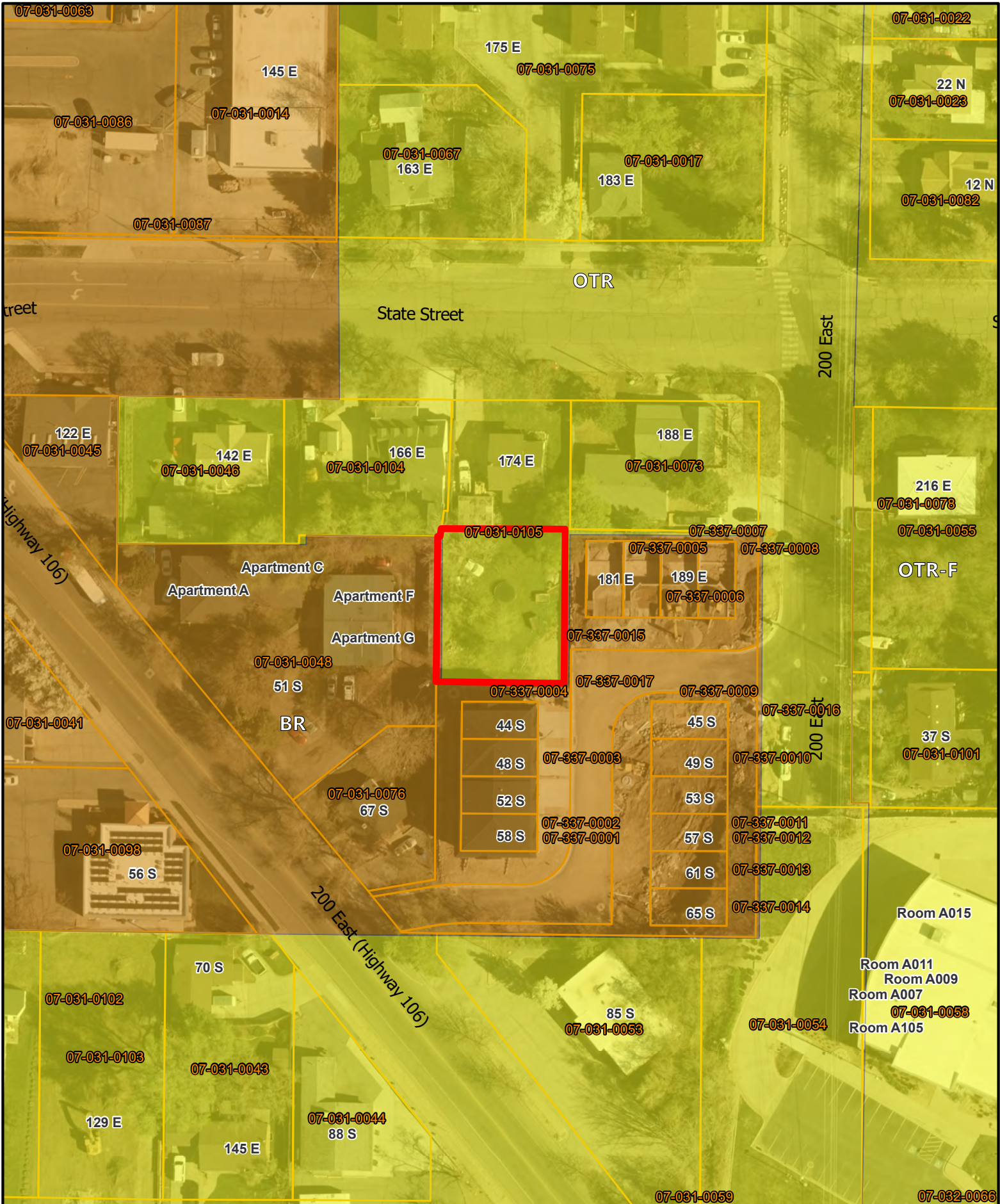
The Planning Commission recommend denial of the proposed rezone request from OTR to the BR zoning district.

1. Without a development plan by adjacent properties to utilize the land under consideration, the requested rezone does not lend to development or redevelopment of the property that follows current city ordinances.

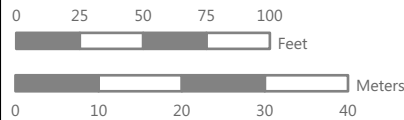
*Per [FCC 11-6-060](#): Disapproval of an application to amend this title or zoning map shall preclude the filing of another application to amend such ordinances or map regarding the same property, or any portion thereof, to the same zone classification within one year of the date of the final disapproval of the application by the city council, unless the planning commission determines that there has been a substantial change in the circumstances to merit consideration of a second application prior to the expiration of such time.

Supplemental Information

1. Vicinity Map
2. Zoning Map
3. Request Letter From Applicant
4. Draft Access Agreement



VICINITY MAP
174 East State Street



Disclaimer: This map was produced by Farmington City GIS and is for reference only. The information contained on this map is believed to be accurate and suitable for limited uses. Farmington City makes no warranty as to the accuracy of the information contained for any other purposes.

Travis Tanner

Nickole Tanner

174 E. State St.

Farmington Utah 84025

07-031-0105

I am looking to change my zoning from OTR to Business-residential

I want the face of State St. to stay the same.

Lot with the house

The lot in the back will be,

- 1) Building lot
- 2) Proposed lot sold and join the brownstone PUD
- 3) Sell to the developer that develops the old Sidwell property
- 4) Keep it and sit on it for a while

Thank you

Travis and Nickole Tanner

When Recorded, Return To:
Travis J. Tanner
P O Box 564
Farmington, UT 84025

AGREEMENT FOR MUTUAL RIGHT-OF-WAY FOR ACCESS TO PROPERTY

FOR AND IN CONSIDERATION of the mutual covenants and agreements herein contained, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, FARMINGTON BROWNSTONES, LLC, a Utah limited liability company ("Brownstones") and TRAVIS TANNER ("Tanner"), each hereby grants and conveys to the other a perpetual, limited, nonexclusive right-of-way for ingress and egress (the "Right-of-Way") upon and over the properties described below, as set forth herein:

- A. BROWNSTONES PROPERTY: All of private street, Farmington Brownstones PUD, identified as Serial Number 07-337-0017 of Davis County, State of Utah.
- B. TANNER PROPERTY: All of the property identified as Serial Number 07-031-0074 of Davis County, State of Utah.

1. Grant. The Mutual Right-of-Way granted hereby shall be for occasional ingress and egress from time to time to, from, upon and over the Property described to provide access between the Brownstones Property and the Tanner Property for the purpose of maintenance or service on either of the properties described herein. This Right-of-Way is limited to the southernmost 36.00 feet along the boundary line between the Brownstones Property and the east side of the Tanner Property, to provide for access between the Tanner Property and the permanent private street Brownstones has constructed on the Brownstone Property, such private street being known as McCall Lane, in the City of Farmington, Utah. The parties hereby acknowledge that the aforementioned right-of-way is not for day-to-day ingress and egress. The Tanner Property's access from 200 East Street shall be utilized for such day-to-day ingress and egress to the Tanner Property, which access may also be utilized by Brownstones from time to time for access to perform maintenance of the Brownstones Property.

2. No Interference. Neither party shall interfere with the other party's construction activities, maintenance of the Properties, or the quiet enjoyment of the residents in the Farmington Brownstones PUD or the owners or occupants of the Tanner Property.

3. Amendment. This Mutual Right-of-Way shall be amended only by a written recorded instrument signed by the parties or the then current owner(s) of the Properties.

4. Binding Agreement. This Mutual Right-of-Way shall be binding upon and inure to the benefit of the parties' successors and assigns, heirs, beneficiaries and personal representatives.

5. Governing. This Right-of-Way shall be governed by and construed and enforced in accordance with the law of the State of Utah.

Signed this ____ day of October 2020.

Grantor:
FARMINGTON BROWNSTONES, LLC,
a Utah limited liability company
by its Manager, Cottle Capital Group, LLC

Grantee:

Travis J. Tanner

By: _____
Alan Cottle, Manager



Planning Commission Staff Report May 5, 2022

Item 8: One Solar – Schematic (Concept) Site Plan/Preliminary PUD Master Plan

Public Hearing: Yes
Application No.: SP-4-22
Property Address: 819 North Lagoon Drive
General Plan Designation: CMU (Commercial Mixed Use)
Zoning Designation: CMU (Commercial Mixed Use)
Area: 2.0 Acres
Number of Lots: 1
Property Owner: Jake Kilgore/Telt Properites LLC
Agent: Jake Tate

Request: *Applicant is requesting approval of a schematic (or conceptual) site plan and a recommendation for Preliminary PUD Master Plan approval for the One Solar project.*

Background Information

The subject property is located in the CMU zone, and unlike some (but not all) districts in the Zoning Ordinance, which list uses as either “permitted” or “conditional”, the uses in the text of the CMU zone are set forth as “allowable” (Section 11-19-040). Moreover, “All projects proposed within the CMU zone shall be reviewed and approved either as a planned unit development [PUD] pursuant to chapter 27, or as a planned center development in accordance with the conditional use permit provisions of chapter 8” (Section 11-19-160).

It may be possible for the Planning Commission to review the One Solar project as a conditional use (even though the Zoning Ordinance provides little detail about “planned centers”), but the applicant is requesting a flat roof instead of a sloped roof, as required in the CMU zone unless mechanically impractical to do so (Section 11-19-070 A. 4.), and a conditional use permit does not allow one to deviate from the standards of the underlying zone like a PUD overlay does, and this is usually only accomplished in exchange for such things as open space set-asides, better design, historic preservation, etc.

Suggested Motion

Move that that Planning Commission approve the schematic site plan for the One Solar project and recommend that the City Council approve the Preliminary (PUD) Master Plan subject to all applicable Farmington City development standards and ordinances and the following:

1. The project may incorporate a flat roof if the owner includes better exterior design and/or materials related to the façade of the building acceptable to the City. Consideration of such by the Planning Commission shall occur as part of its review of the Final PUD Master Plan.

2. Interior first floor storage areas must remain and the owner shall not use this space for future office or other similar types of expansion unless he or she provides, as approved by the City, more parking on-site, demonstrates less parking demand, or creates additional off-site parking (shared or otherwise).
3. Parking related to the use of the gym portion of the building cannot conflict with employee parking use if it results in on-site and/or off-site parking shortages.
4. The owner must meet all remaining City standards, including but not limited to, any outstanding DRC (Development Review Committee) comments.

Findings for Approval

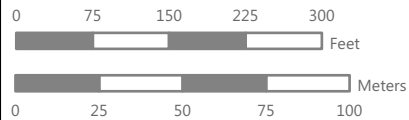
1. A PUD will ensure quality design enabling a flat roof instead of a sloped roof.
2. Parking should not be a problem if conditions of approval are met.
3. The project is consistent with the East Park Lane Master Plan, which is an element of the City's Master Plan.

Supplemental Information

1. Vicinity map
2. Schematic Site Plan/Preliminary PUD Master Plan
3. Proposed building elevations/floor plans

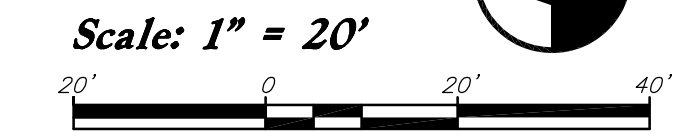


VICINITY MAP
819 North Lagoon Drive



Disclaimer: This map was produced by Farmington City GIS and is for reference only. The information contained on this map is believed to be accurate and suitable for limited uses. Farmington City makes no warranty as to the accuracy of the information contained for any other purposes.

Site Data
 Site Area = 87,365 s.f. (2.0 ac.)
 Landscape Area Provided = 24,746 s.f. (28%)
 Impervious Area Provided = 40,231 s.f. (46%)
 Building Footprint Area = 22,388 s.f. (26%)
 Office Area = 21,500 s.f.
 Commercial Recreation = 12,040 s.f.
 (Basketball Court)
 Total Building Area = 33,540 s.f.
 Parking Required (Office) = 3/1000 s.f. = 65 stalls*
 Parking Provided = 65 stalls (3/1,000)



* Office use and basketball use will not occur at the same time so more intense office use used to determine the parking requirement.

General Site Notes:

- All dimensions are to back of curb unless otherwise noted.
- Fire lane markings and signs to be installed as directed by the Fire Marshal.
- Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
- Const. curb transition at all points where curb abuts sidewalk, see detail.
- Contractor shall place asphalt paving in the direction of vehicle travel where possible.
- Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

Site Construction Notes

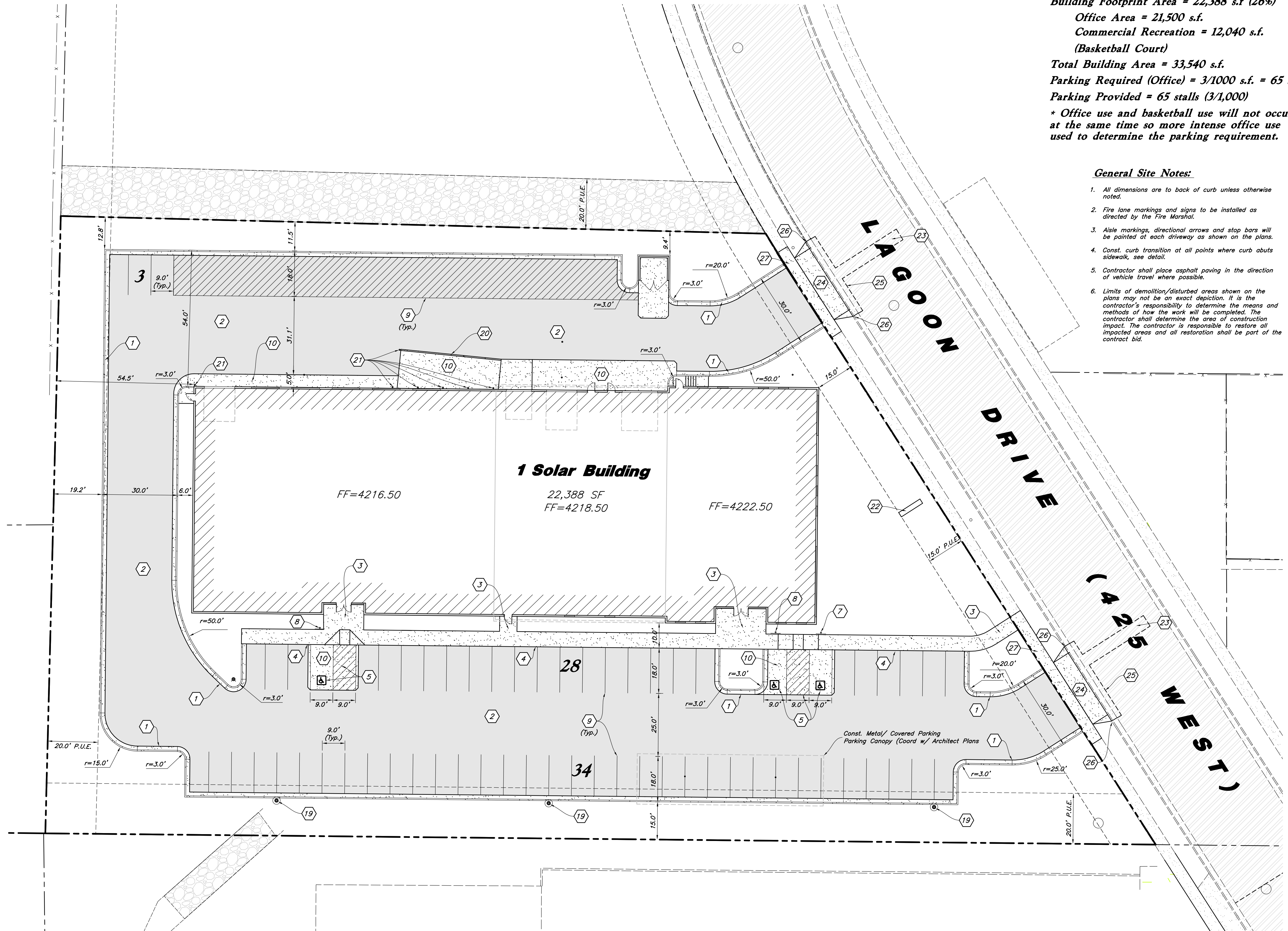
- Const. 24" Curb & Gutter (C4.1)
- Const. Asphalt Paving (C4.1)
- Const. Conc. Sidewalk (C4.1)
- Const. Thickened Edge Sidewalk (C4.1)
- Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (21, 4.3)
- Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (See Grading Detail Sheets)
- Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (2, C2.3)
- Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (2, C2.3)
- Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. thickness (C4.1)
- Const. Conc. Paving (C4.1)
- Sawcut; Provide Smooth Clean Edge
- Dumpster Enclosure (See Arch. Plans)
- Const. Directional Arrows per MUTCD
- Const. 24" White Stop Bar
- Const. Conc Wheel Stop
- Const. Stop Sign per MUTCD R1-1
- Conn. & Match Existing Improvements
- Const. Landscape Edging (Coordinate w/ Landscape Plan)
- Const. Light Pole (see Site Electrical Plans)
- Const. Dock Retaining wall with Guard Rail. (see Architectural and Structural Plans)
- Const. Bollard (18, C4.3)
- Monument Sign (per separate plans & permit)
- Asphalt Concrete T Patch Per Farmington City Standards Drawing 253 SP
- Flare Driveway Approach Per Farmington City Standards Drawing 221
- Street Slope Tie-In Per Farmington City Standards Drawing 281
- Tie into Existing Curb Per Farmington City Standards Drawing 205 SP
- Concrete Sidewalk Per Farmington City Standards Drawing 231 SP

Construction Survey Note:

The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

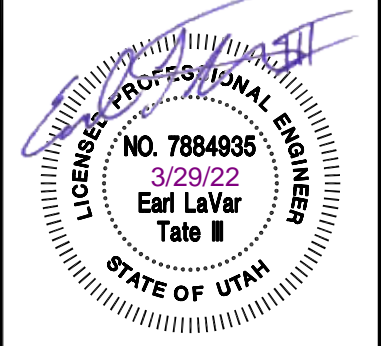
Survey Control Note:
 The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS
 The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.



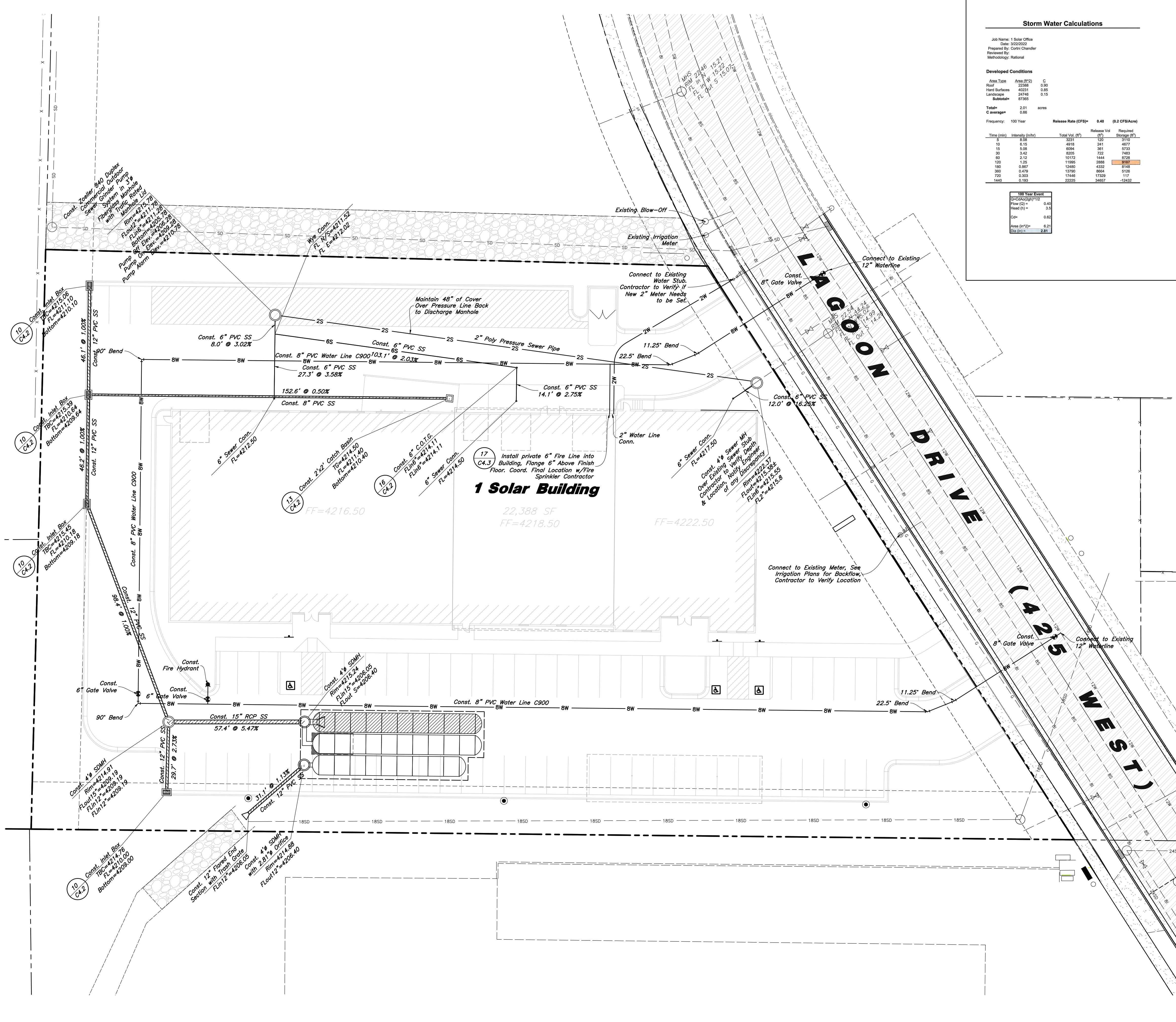
ANDERSON WAHLEN & ASSOCIATES
 2010 North Redwood Road, Salt Lake City, Utah 84116
 (801) 521-8529 - awengineering.net

Site Plan
1 Solar Office
 819 North 425 West
 Farmington, UT



29 Mar, 2022

SHEET NO.
C1.1



Storm Water Calculations

Job Name: 1 Solar Office
 Date: 02/22/22
 Prepared By: Corei Chandler
 Reviewed By: [Redacted]
 Methodology: Rational

Developed Conditions

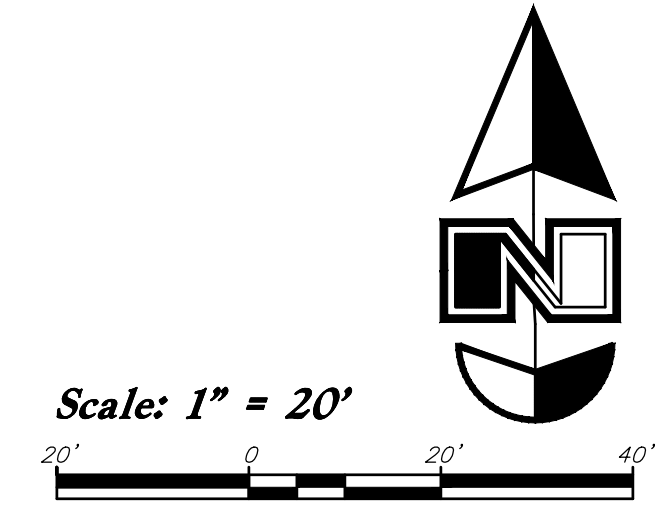
Area Type	Area (ft ²)	C
Roof	22388	0.50
Hard Surfaces	40231	0.65
Landscaping	34746	0.15
Subtotal	87365	
Total	2.01	0.65

Frequency: 100 Year Release Rate (CFR): 0.40 (0.3 CFR/Ann)

Time (min)	Intensity (in/hr)	Total Vol. (ft ³)	Release Vol. (ft ³)	Required Storage (ft ³)
5	0.08	2231	527	2150
10	0.15	4463	241	4677
15	0.20	6694	361	6753
30	0.42	13389	722	12627
60	0.84	26778	1444	25254
120	1.68	53556	2888	50511
180	0.897	26778	4332	22446
300	0.475	13389	6594	6795
720	0.303	6694	1746	3450
1440	0.152	3347	873	1722

100 Year Event

Intensity (in/hr)	0.40
Flow (cfs)	3.8
Area (ft ²)	0.21
Velocity (ft/s)	2.81



General Utility Notes:

- All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
- Coordinate all utility connections to building with plumbing plans and building contractor.
- Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
- All catch basin and inlet box grates are to be bicycle proof.
- Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
- Gas lines, telephone lines, and cable TV lines are not a part of these plans.
- Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
- Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to clear sewer, storm drain, or other utilities as necessary including valve boxes and hydrant spools to proper grade.
- Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the asphalt.

Utility Piping Materials:

All piping materials shall be per local agency standards or the specifications below at a minimum. All utility piping shall be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

Culinary Service Laterals

- Polyethylene (PE) Water Pipe (Up to 3 inches diameter), AWWA C901, PE 3408, SDR 9 (200 psi)
- Copper Pipe (Up to 3 inches diameter); Type "K"

Water Main Lines and Fire Lines

- Polyvinyl Chloride (PVC) (4 inches to 12 inches diameter); AWWA C900, Class 200

Sanitary Sewer Lines

- All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35

Storm Drain Lines

- 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
- 15" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III

Const. ADS StormTech (Model UC-2200) Chambers per Manufacturer Stds. Contractor to Provide Submittal on Full Chamber, Isolator Row, and Header/Manifold System for Approval Prior to Installation.

CAUTION:

The locations and/or elevations of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

9.107 of Required 2,560 of Provided
 Top of Chambers = 4210.15
 Bottom of Chamber = 4205.15
 Bottom of Stone = 4203.90
 FLin = 4206.05
 FLout = 4206.05

Storm Drain & Sanitary Sewer Note:
 All Storm Drainage & Sanitary Sewer Pipe Lengths and Slopes are from Center of Structure to Center of Structure

Onsite Utility Connection Notes:

- Contractor shall field verify all utility connection elevations prior to any utility construction has begun.
- Contractor shall construct utility lines into site prior to any onsite utility construction. Gravity lines are to be constructed starting at the lowest point and be installed prior to any waterline installation.
- Construction of any onsite utilities prior to the offsite connection will be done at the contractors risk.



REV	DATE	DESCRIPTION

Designed by: JT
 Drafted by: SM
 Client Name:
 1 Solar
 21-223 UT

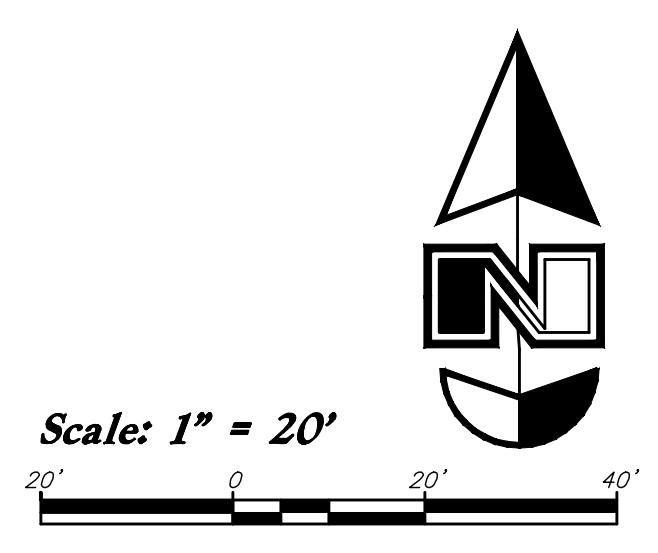
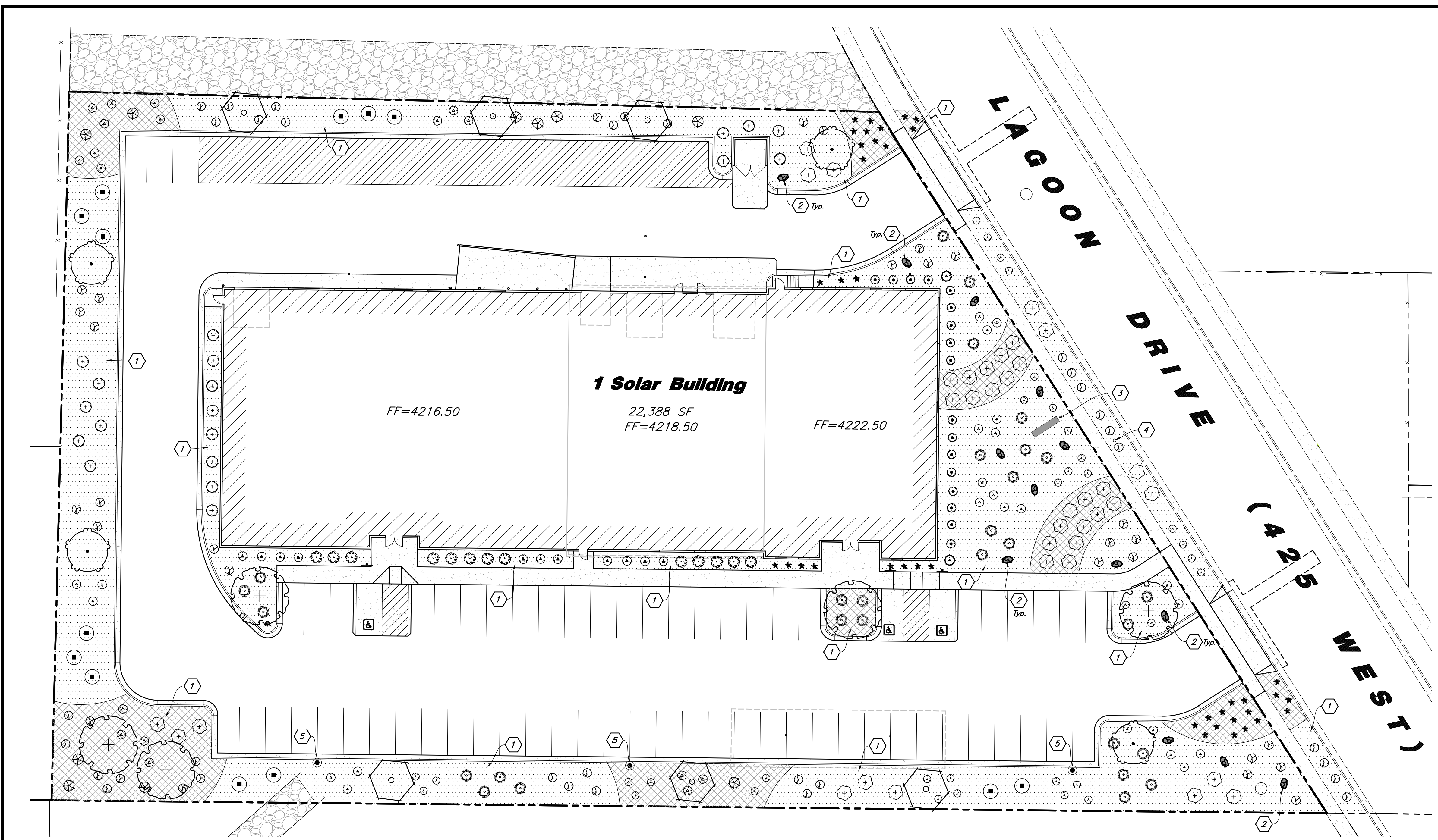


Utility Plan
1 Solar Office
 819 North 425 West
 Farmington, UT



29 Mar, 2022

SHEET NO.
C3.1



Landscape Data
 Zone: Commercial Mixed Use (CMU)
 Site Area = 87,365 s.f. (2.0 ac.)
 Landscape Area Required = 17,473 s.f. (20%)
 Landscape Area Provided = 24,746 s.f. (28%)

Landscape Notes:

- All Landscape Shall be Watered by an Automatic Irrigation System. Point Source Drip for Shrub Areas. See Sheet L2.1 for Layout and L3.1 for Details.
- All Areas that Are Disturbed by Construction that is Not Building and Hardscape Shall be Landscaped. Contact LA With Areas in Question.
- Adjust Landscape as Needed to Accommodate New and Existing Utilities. Provide Easy Access to Utilities.
- Different Stone Colors and Sizes Shall Not be Separated by Edging but Shall Have a Defined Distinct Edge.
- All Existing Plant Material Shall be Removed for New Building, Parking Lot, Sidewalks, and Landscape.

Landscape Keynotes

- Install Shrub Area with Decorative Stone Over Weed Barrier - See Schedule for Type
- Install Landscape Boulder
- Monument Sign by Separate Permit
- Existing Secondary Water Connection Location - See Irrigation Plan for More Detail
- Light Pole - See Site Elect. Plans

General Landscape Notes:

- Plant material quantities are provided for bidding purposes only. It is the contractor's responsibility to verify all quantities listed on the plans and the availability of all plant materials and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified material. The contractor shall provide sufficient quantities of plants equal to the symbol count or to fill the area shown on the plan using the specified spacing. Plans take precedence over plant schedule quantities.
- Contractor shall call Blue Stake before excavation for plant material.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
- The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock Published by the American Association of Nurserymen, Inc. In addition, all new plant material shall be of specimen quality.
- The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.
- It is the contractor's responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain and warranty all plant materials.
- The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants.
- The contractor shall install all landscape material per plan, notes and details.

PLANT SCHEDULE

TREES	QTY.	BOTANICAL / COMMON NAME	SIZE
2	Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper	6' Min. Ht.	
4	Koeleruteria paniculata / Golden Rain Tree	2" Caliper	
5	Quercus robur fastigiata 'Crimson Spire' / Crimson Spire Oak	2" Caliper	
6	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac*	2" Caliper	
17	Buxus x 'Green Mound' / Green Mound Boxwood	5 gal	
13	Caragana frutex 'Globosa' / Globe Russian Peashrub	5 gal	
36	Coryopteris x clandonensis 'Blue Mist' / Blue Mist Shrub	2 gal	
19	Euonymus alatus 'Compactus' / Compact Burning Bush	5 gal	
29	Juniperus horizontalis 'Bar Harbor' / Bar Harbor Creeping Juniper	5 gal	
13	Physocarpus opulifolius 'Summer Wine' / Summer Wine Ninebark	5 gal	
10	Picea pungens 'Globosa' / Dwarf Globe Blue Spruce	5 gal	
13	Pinus mugo 'Slowmound' / Slowmound Mugo Pine	5 gal	
29	Potentilla fruticosa 'Goldfinger' / Goldfinger Potentilla	2 gal	
37	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	2 gal	

SHRUBS

- Plant names are abbreviated on the drawings, see plant schedule for symbols, abbreviations, botanical, common names, sizes, estimated quantities and remarks.
- No grading or soil placement shall be undertaken when soils are wet or frozen.
- Existing topsoil to be stripped and stockpiled for landscape use. Contractor shall verify existing topsoil amounts and quality with the general contractor. The landscape contractor shall perform a soil test on existing and imported topsoil and amend per soil test recommendations. Soil test to be done by certified soil testing agency. Provide new imported topsoil as needed from a local source. Imported topsoil must be a premium quality dark sandy loam, free of rocks, clods, roots, and plant matter. Topsoil to be installed in all landscaping areas.
- Prior to placement of topsoil in all landscaping areas, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches in order to create a transition layer between existing and new soils.
- Provide a 12" depth of stockpiled or imported topsoil in parking islands and an 8 inch depth in all other shrub areas.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site and replaced with plant backfill mixture. The top of the root balls, shall be planted flush with the finish grade.
- Plant backfill mix shall be composed of 3 parts topsoil to 1 part soil pep, and shall be mixed at the planting hole. Deep water all plant material immediately after planting. Add backfill mixture to depressions as needed.
- All new plants to be balled and burlapped or container grown, unless otherwise noted on plant schedule.
- Upon completion of planting operations, all shrub areas with trees, shrubs, and perennials, shall receive specified stone over Dewitt Pro5 Weed Barrier. Stone shall be evenly spread on a carefully prepared grade free of weeds. The top of stone should be slightly below finish grade and concrete areas.
- All deciduous trees shall be double staked per tree staking detail. It is the contractor's responsibility to remove tree staking in a timely manner once staked trees have taken root. Deciduous tree ties to be V.I.T. Cinche Ties #C132.
- The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of completion and final acceptance.

MATERIAL SCHEDULE

ORNAMENTAL GRASSES	QTY.	BOTANICAL / COMMON NAME	SIZE
34	Rosa x 'Meigalpio' / Red Drift Rose	2 gal	
11	Spiraea x b. 'Anthony Waterer' / Anthony Waterer Spiraea	2 gal	
25	Spiraea x bumalda 'Goldmound' / Gold Mound Spiraea	2 gal	
39	Helictotrichon sempervirens 'Sapphire' / Sapphire Blue Oat Grass	1 gal	

Decorative Stone #1 - Install a Four (4) inch depth over Dewitt Pro5 Weed Barrier; Stone Shall be Used in all Shrub Areas and Washed Prior to Installation; Remove all Soil From Weed Barrier Prior to Laying Stone; Stone Shall be 1 1/2" Diameter Fractured Wash Gray Color From a Local Source; *Tarrington Rock*. Detail: 4/L3.1

Decorative Stone #2 - Install a Six (6) inch depth over Dewitt Pro5 Weed Barrier; Carefully Place Around Plant Material; Stone Shall be Used in all Shrub Areas and Washed Prior to Installation; Remove all Soil From Weed Barrier Prior to Laying Stone; Stone Shall be From Staker Parsons Maguire Pit 2-4" Diameter Fractured Stone. Detail: 4/L3.1

Landscape Accent Boulders - Boulders Shall be 3-4' in Diameter, Fractured and Match Proposed Stone #2; Boulders Shall be Recessed into the Stone Two (2) Inches and Not Set on Top of Stone; No Boulder Shall be Placed Adjacent to a Curb Where a Car Could Potential Hit With Bumper. Detail: 5/L3.1

Landscape Plan
1 Solar Office
 819 North 425 West
 Farmington, UT

AWA
ANDERSON WAHLEN & ASSOCIATES
 2010 North Redwood Road, Salt Lake City, Utah 84116
 (801) 321-8529 - awahengineering.net

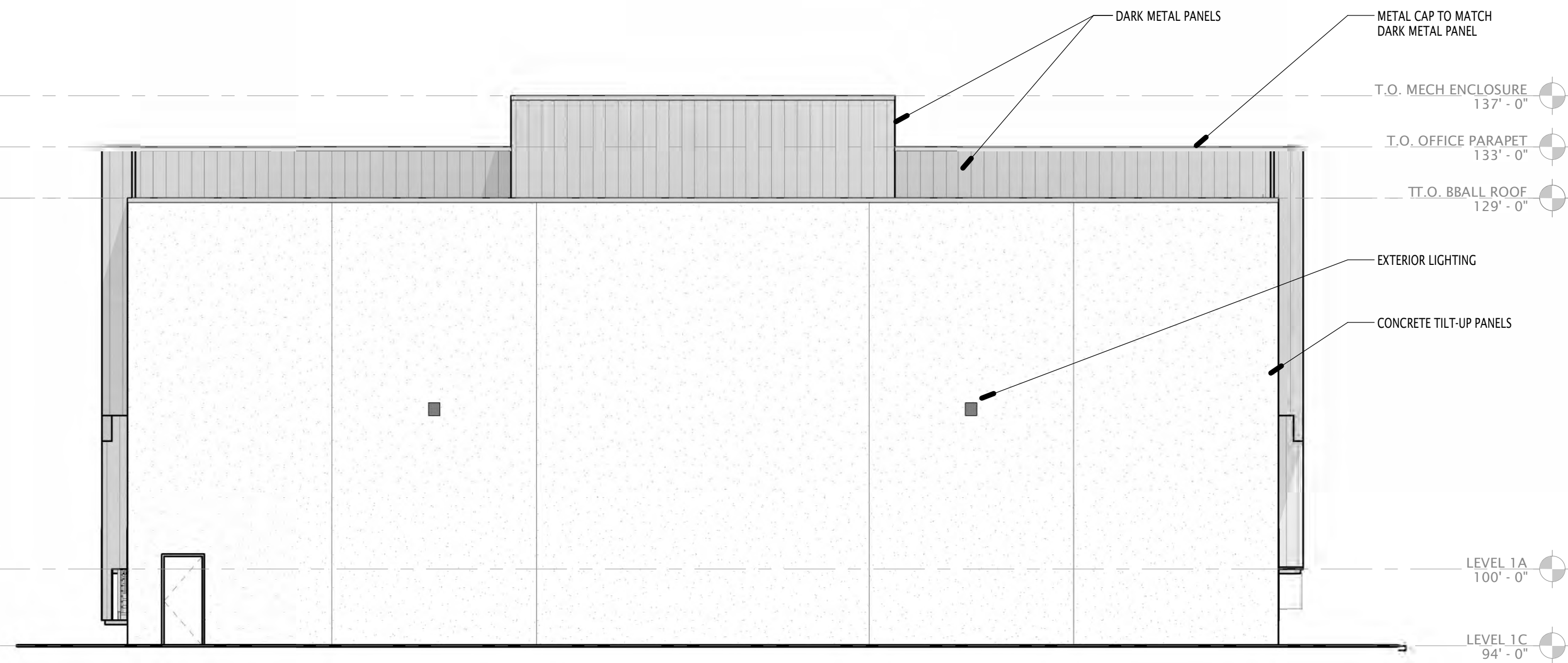
State of Utah
 Jared R. Manscill
 No. 7740428-3300
 03/29/2022
 Licensed Landscape Architect

29 Mar, 2022
 SHEET NO.
L1.1

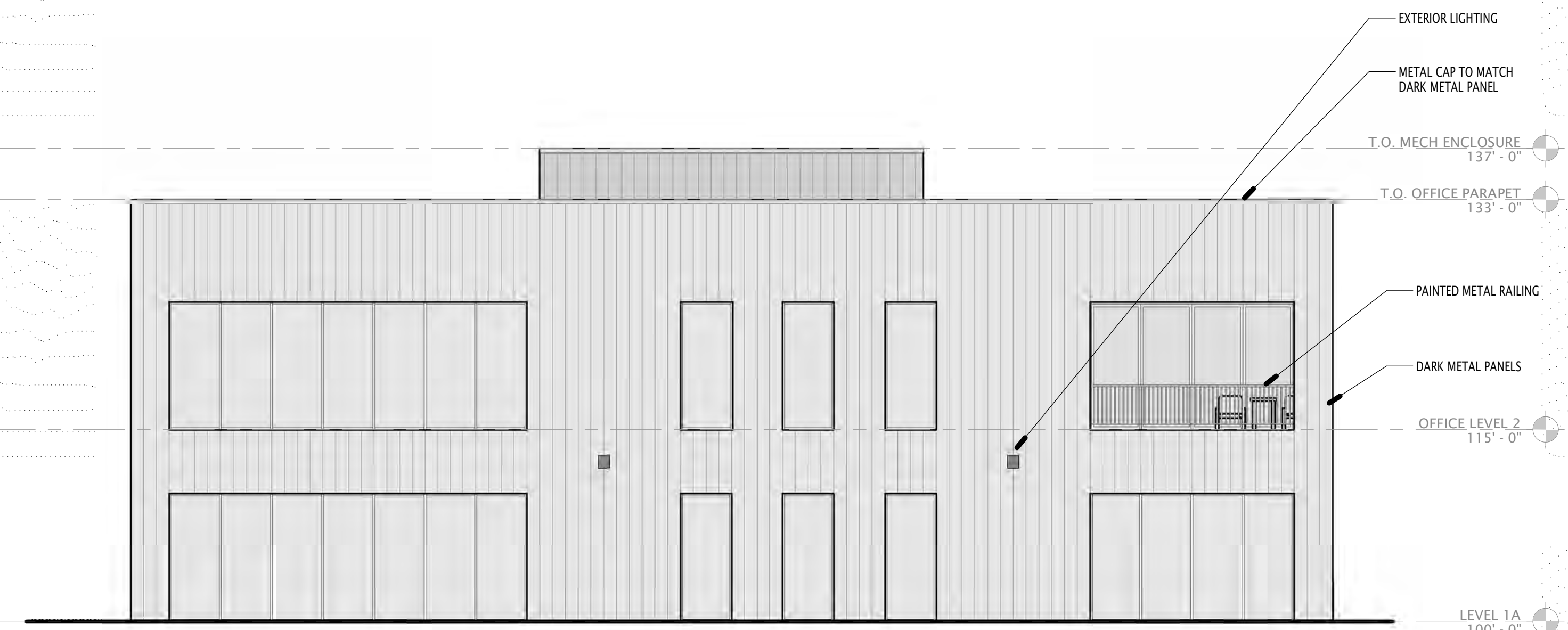


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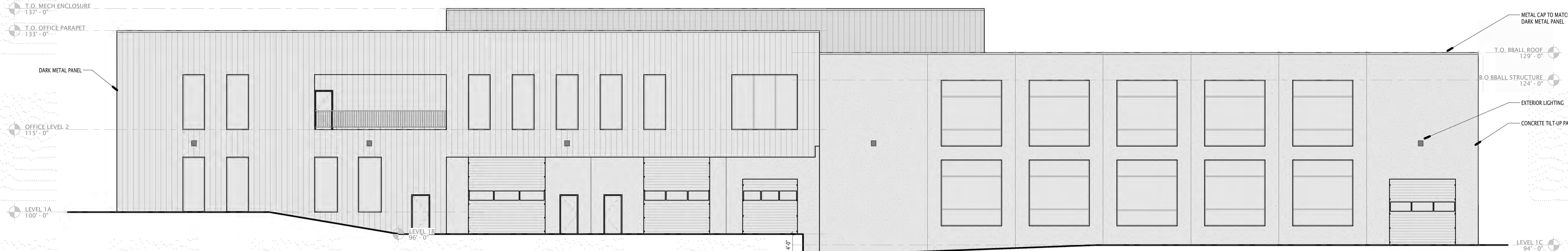
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4 WEST ELEVATION
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3 EAST ELEVATION
A201 1/8" = 1'-0"



2 NORTH ELEVATION
A201 1/8" = 1'-0"



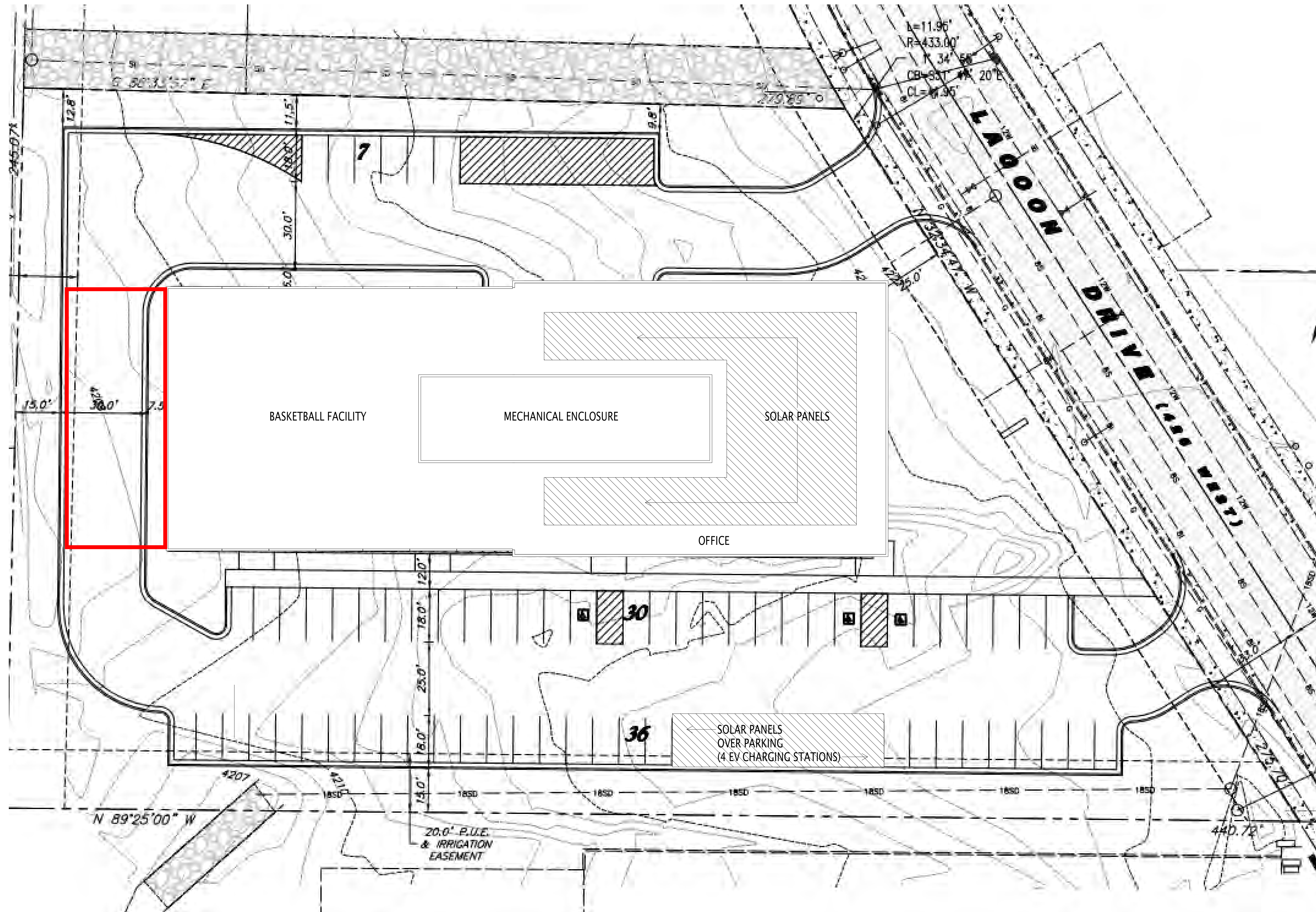
1 SOUTH ELEVATION
A201 1/8" = 1'-0"

NOT FOR CONSTRUCTION

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1 SOLAR

Enter Address Here -->
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GSBS PROJECT NO.:
ISSUED DATE: 03/25/2022
BUILDING ELEVATIONS

REVISIONS:

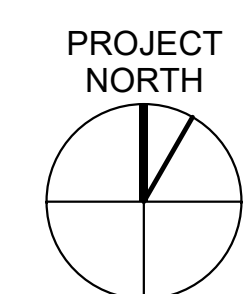


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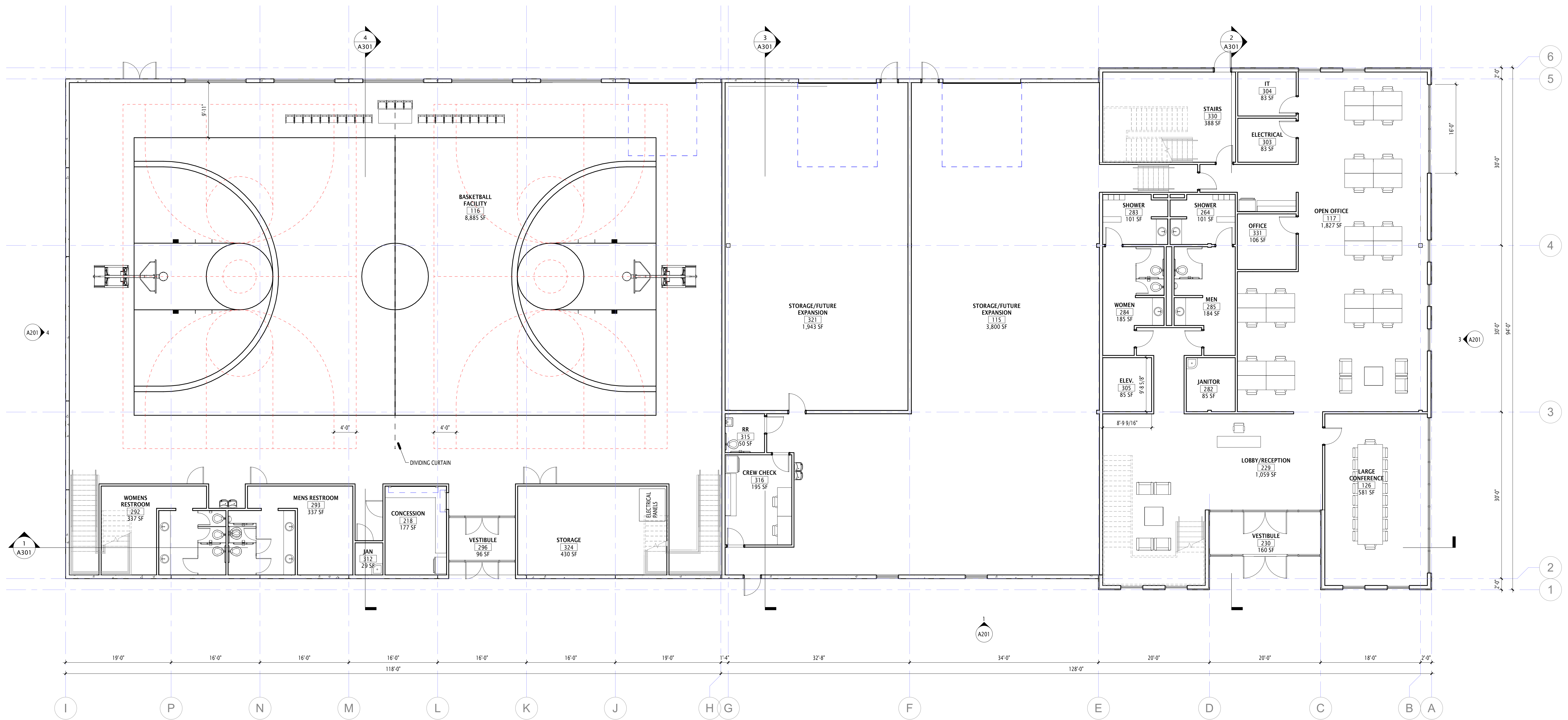
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GSBS PROJECT NO.:
ISSUED DATE: 03/02/2022
SITE PLAN



REVISIONS:



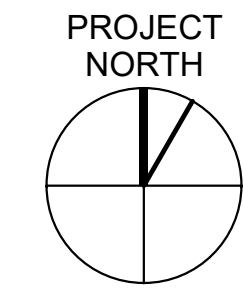
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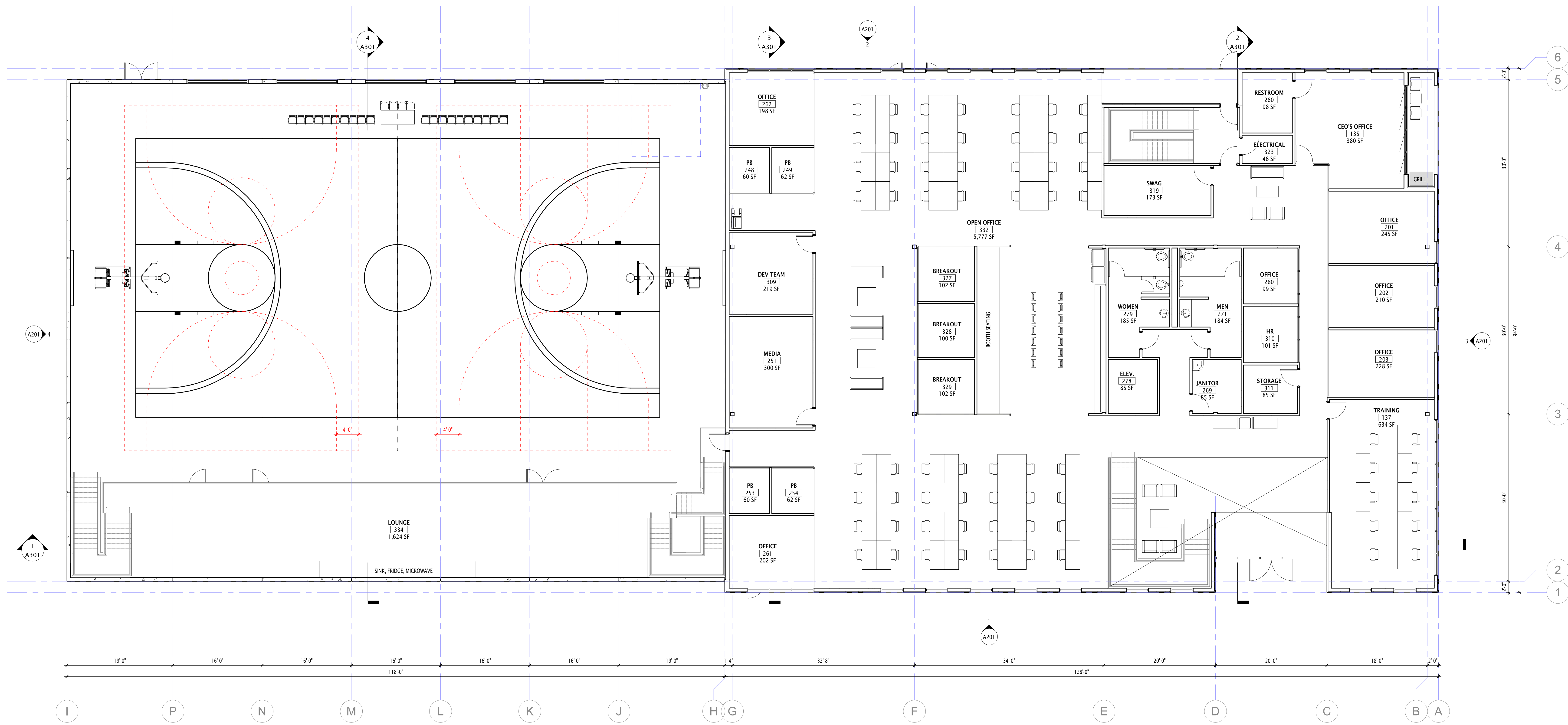
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GSBS PROJECT NO.:
ISSUED DATE: 03/02/2022
FLOOR PLAN - LEVEL 1

1 FLOOR & WALL TYPES PLAN - LEVEL ONE
A111 1/8" = 1'-0"



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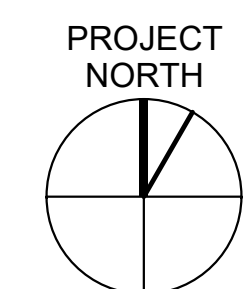


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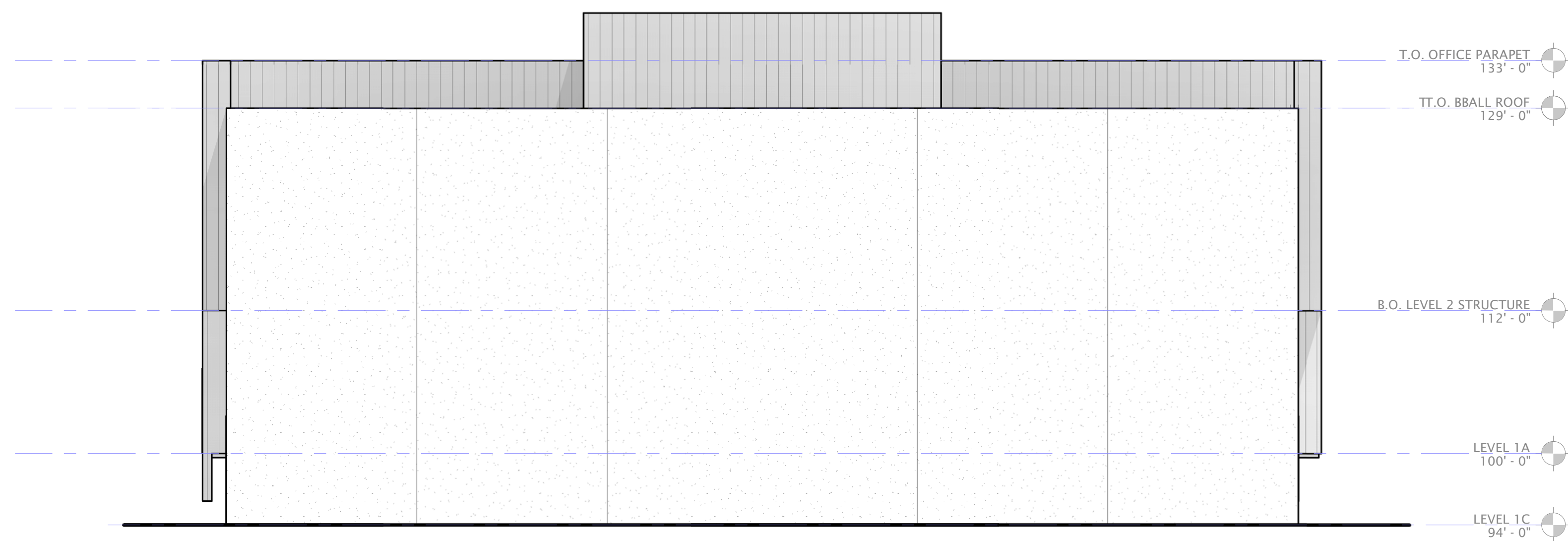
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GSBS PROJECT NO.:
ISSUED DATE: 03/02/2022
FLOOR PLAN - LEVEL 2



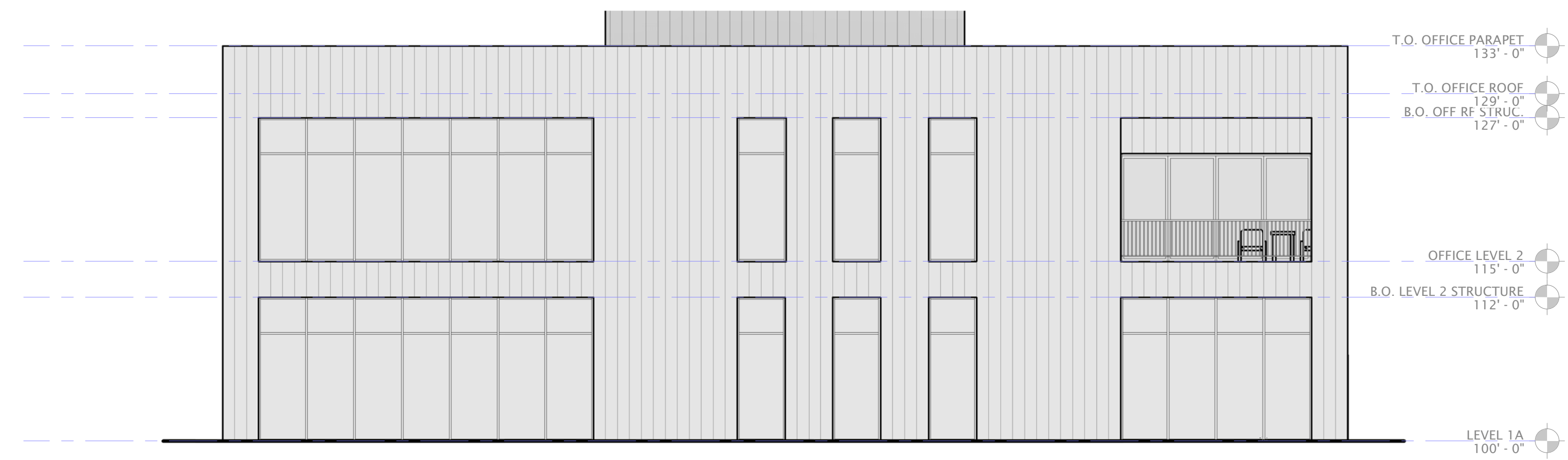
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A112 / 1/8" = 1'-0"

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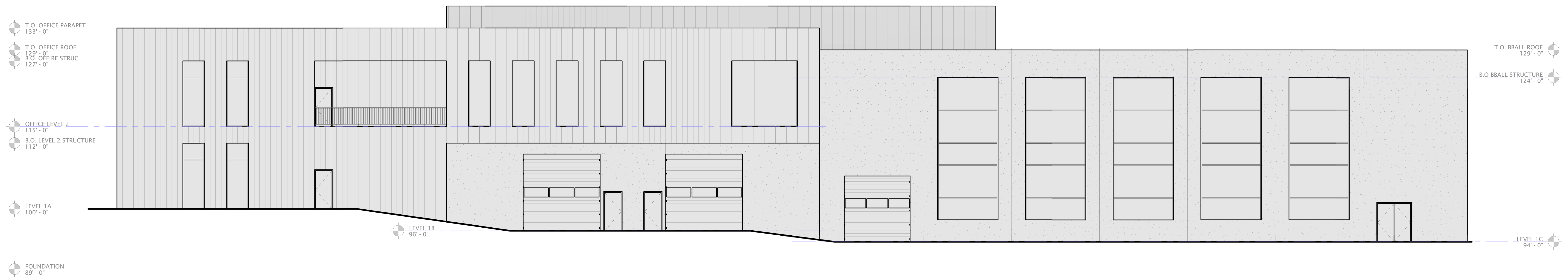
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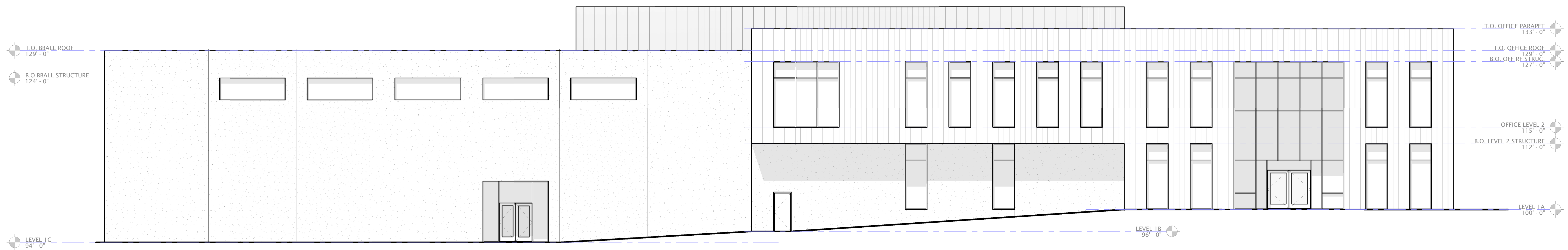
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A201 1/8" = 1'-0"



3 EAST ELEVATION
A201 1/8" = 1'-0"



2 NORTH ELEVATION
A201 1/8" = 1'-0"



1 SOUTH ELEVATION
A201 1/8" = 1'-0"

NOT FOR CONSTRUCTION

SCHEMATIC DESIGN
1 SOLAR OFFICE AND BASKETBALL FACILITY

Enter Address Here -->
1 SOLAR

Enter Address Here -->
OWNER PROJECT NO.:
GSBS PROJECT NO.:
ISSUED DATE: 03/02/2022
BUILDING ELEVATIONS



Planning Commission Staff Report May 5, 2022

Item 9: PUD (Planned Unit Development) – Complete Natural Products

Public Hearing:	Yes
Application No.:	S-11-22
Property Address:	875 North Lagoon Drive
General Plan Designation:	CMU (Commercial Mixed Use)
Zoning Designation:	CMU (Commercial Mixed Use)
Area:	1.86 acres
Number of Lots:	1
Property Owner:	Ensign Financial Group
Applicant:	Scot Poole

Request: *Applicant is seeking a Planned Unit Development (PUD) overlay approval for the Complete Natural Products development.*

Background Information

The subject property is part of an existing subdivision and has previously been zoned to the CMU district following the city's general plan designation. Staff have begun some precursory review in initial discussions with the applicant; however, there are some elements of the proposed plan that require flexibility from typical standards of the CMU zone that can be considered through the PUD review process. Should the Planning Commission and Council find the required flexibility acceptable the complete design and plan review will be completed.

The first item requiring flexibility from the standards of 11-19-060 is the positioning of the building. In September of 2021 the city modified the front yard setback standard requiring in effect that there be no parking between the building and the street. As proposed the project includes parking in this location. It is the opinion of staff that this is appropriate in this situation based on the surrounding development, but mostly due to the site distance this provides for traffic as this development is on a curve/corner.

Second, the building includes a flat roof style design which is in conflict with 11-19-070 A(4) which states: 'Unless mechanically impractical, flat roofs are prohibited within the zone. When located on a roof, mechanical equipment shall be screened by roof components, parapets, cornices or other architectural features.' It is the feeling of staff that the architecture proposed is in line with surrounding development and the other applicable design standards that a flat roof construction would be appropriate.

Recommendation:

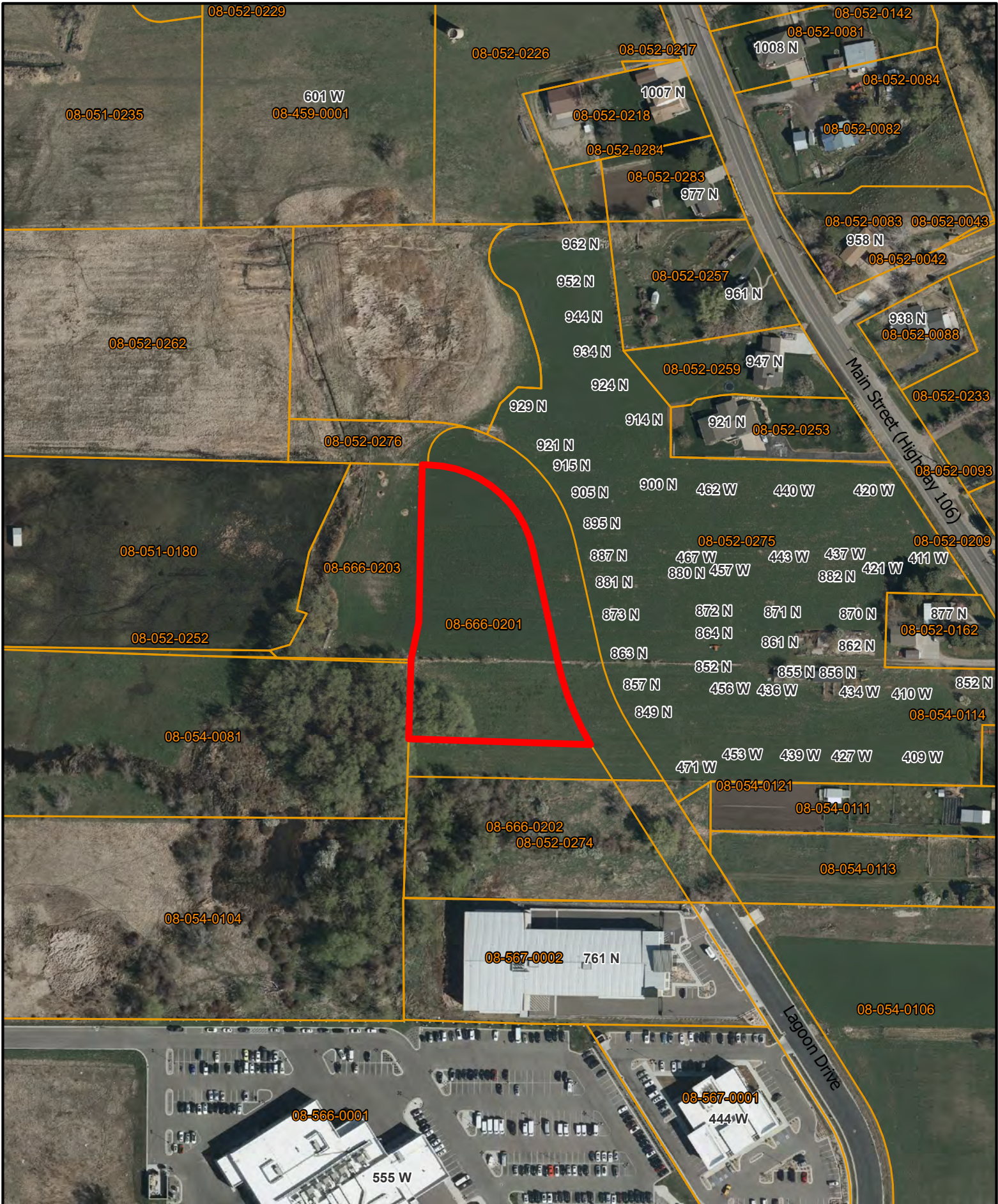
- Move that the Planning Commission recommend approval of the PUD allowing for parking to be located between the building and the street as indicated in the provided site plan and allow for the flat roof design. The final site plan review shall be completed by staff per 11-7-040 (F).

Findings for Approval:

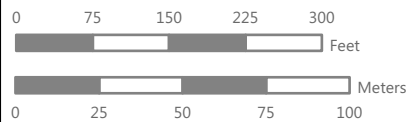
1. The proposed layout will facilitate better site distance to increase traffic safety.
2. The site layout is compatible with other developments which share the same street frontage along Lagoon Drive.
3. The proposed flat roof architecture fits with the other buildings in existence and in consideration along Lagoon Drive.

Supplemental Information

1. Vicinity Map
2. Photos of Development in Close Proximity..
3. Floor Plans and Elevations
4. Site Plan, Site Distance, Landscape Plans



VICINITY MAP
875 North Lagoon Drive



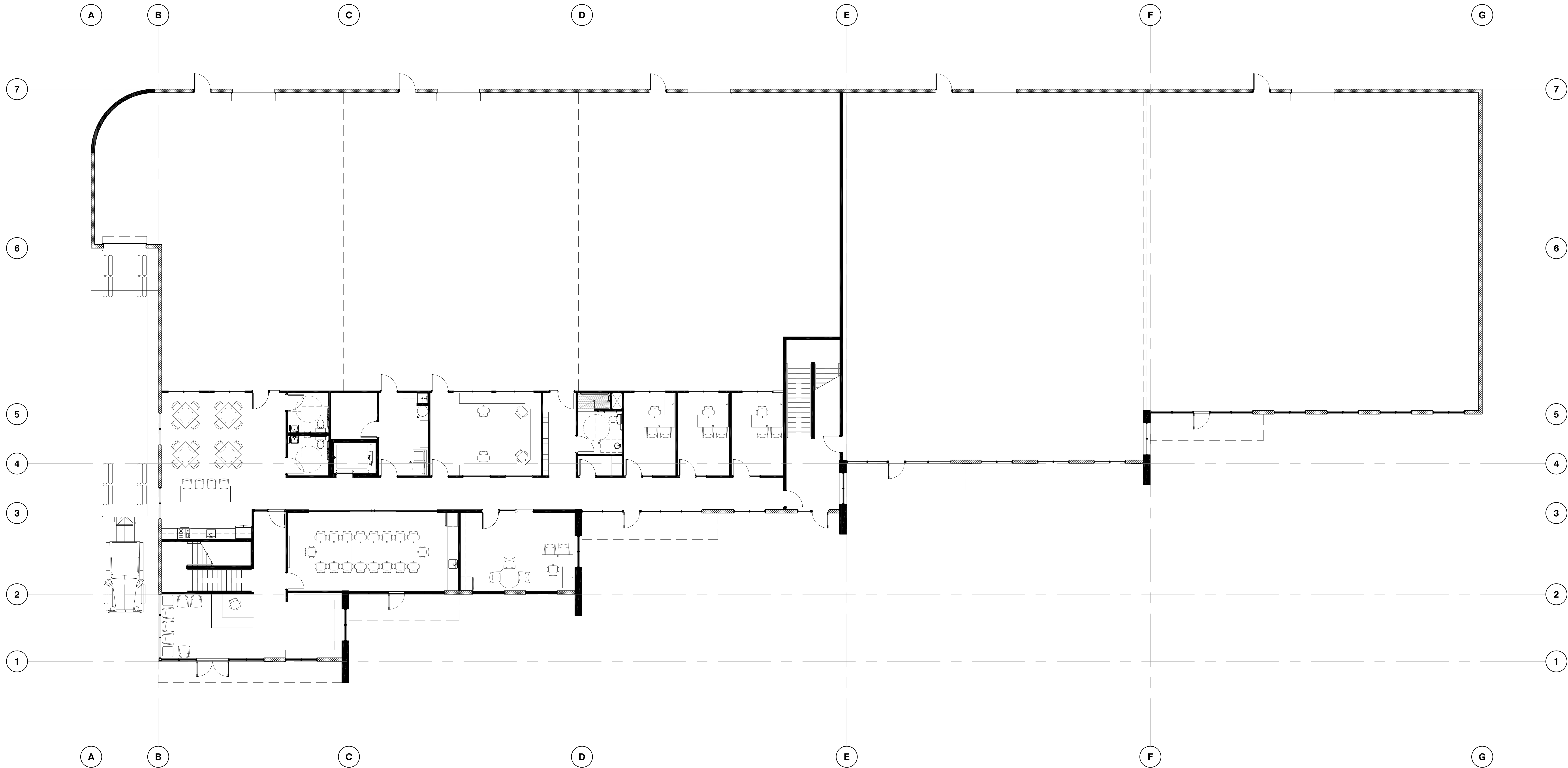
Disclaimer: This map was produced by Farmington City GIS and is for reference only. The information contained on this map is believed to be accurate and suitable for limited uses. Farmington City makes no warranty as to the accuracy of the information contained for any other purposes.

Existing Commercial Development along Lagoon Drive North of Burke Lane
Example Architecture and Site Layout.





\\CS-SERVERS\Carpenter Stringham\Projects\22-001 Complete Natural Products - Farmington\CD\A101.dwg March 15, 2022 - 8:38 AM



A PROPOSED 1ST LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"



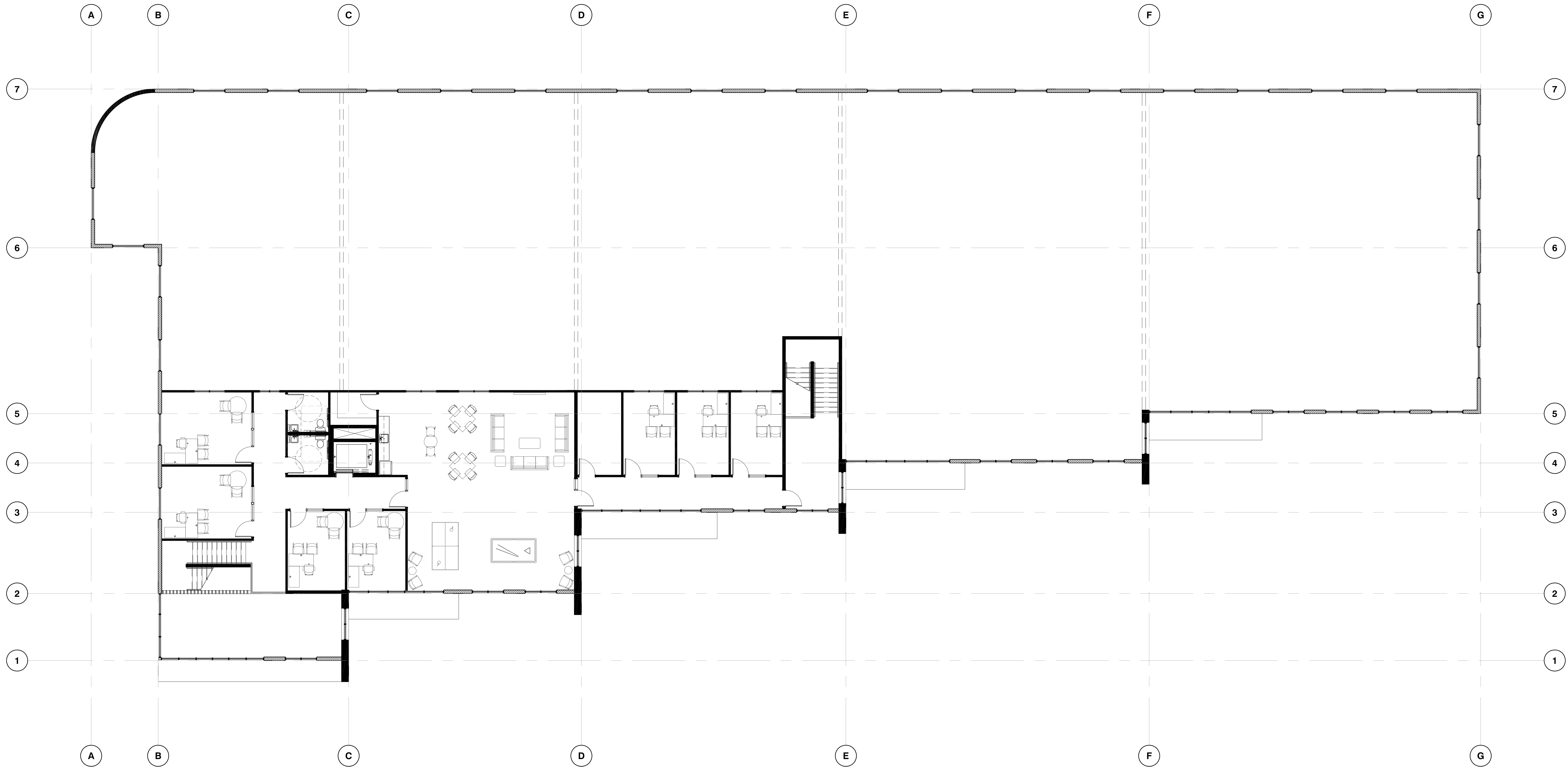
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**1st Level
Floor Plan**

REVISIONS

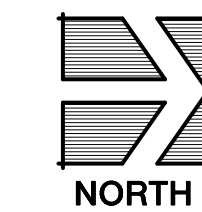
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CHECKED: ppm

SHEET
A101

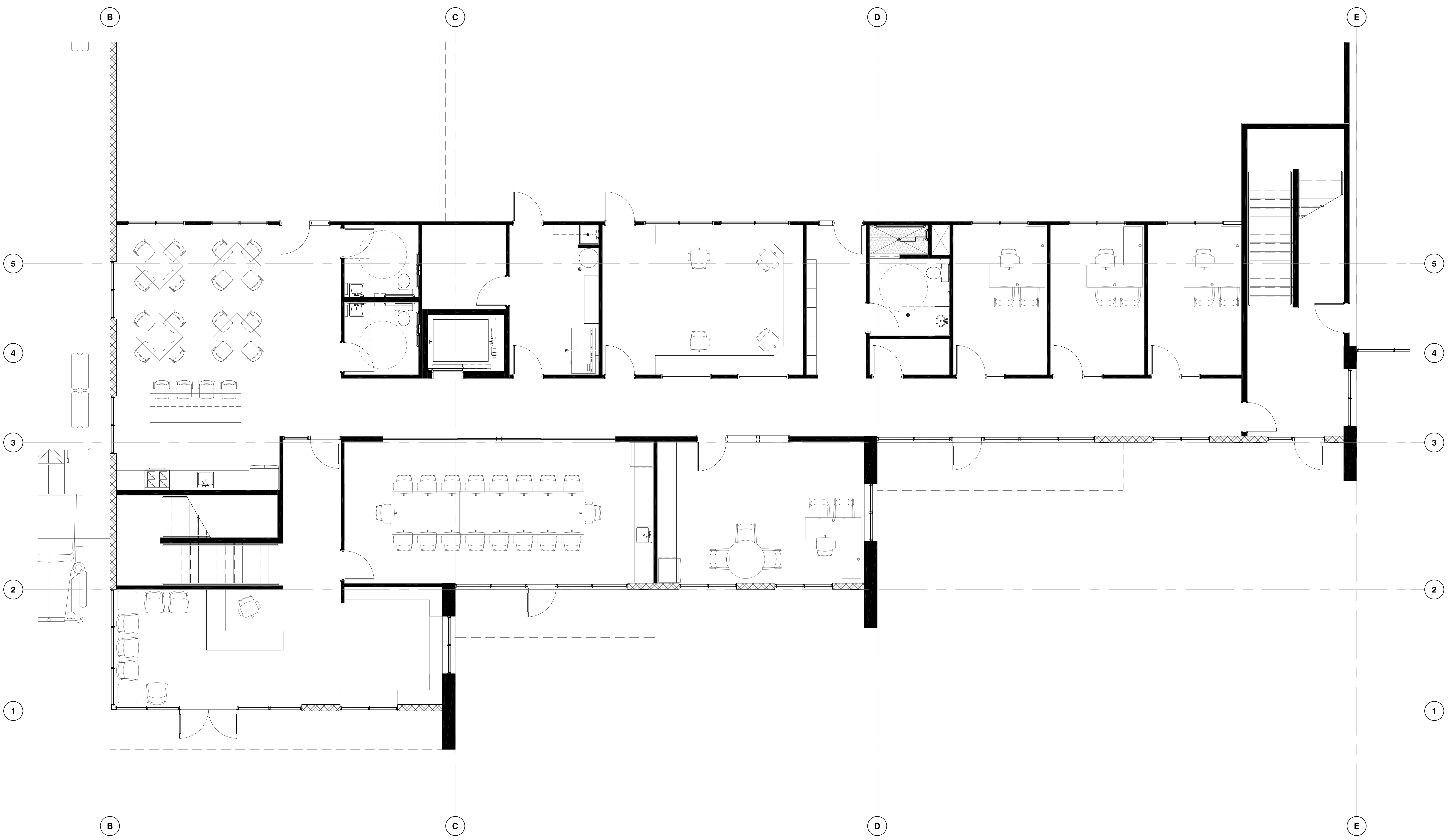
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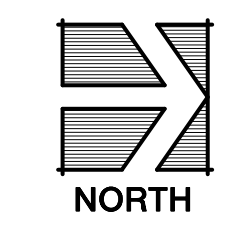
A PROPOSED 2ND LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"



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A ENLARGED 1ST LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



SHEET TITLE
Enlarged 1st
Lvl Floor Plan

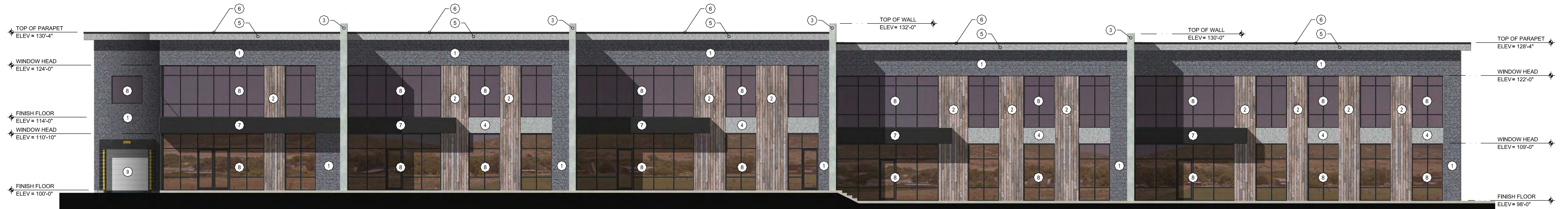
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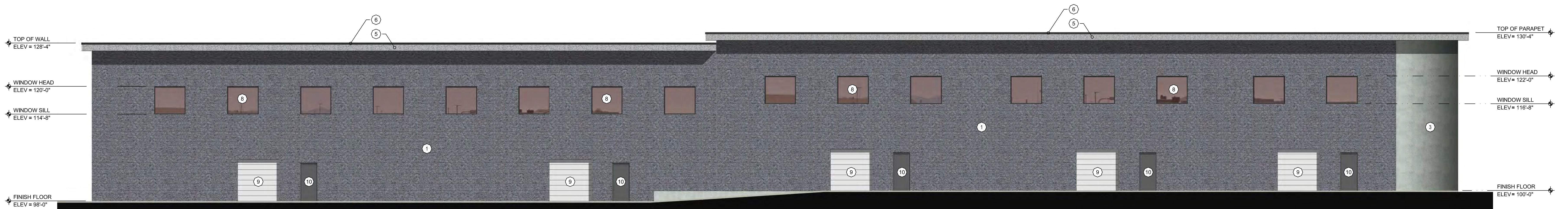
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SHEET
A103

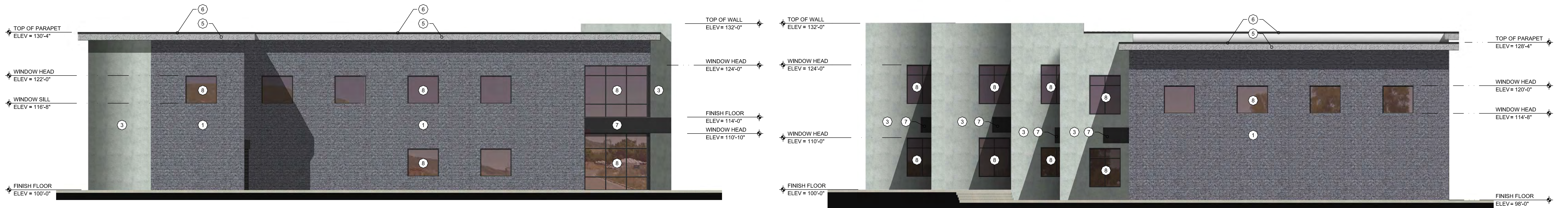
EXTERIOR FINISH KEY			
①	SPLIT-FACE CMU SUNROC INTEGRAL COLOR SPLIT-FACE CMU. COLOR: CHARCOAL	④	EIFS VENEER 1-1/2" EIFS VENEER; DRYVIT
②	RECLAIMED WOOD SIDING 6" WIDE RECLAIMED WOOD PLANKS (SEALED)	⑤	EIFS FINISH PARAPET 1-1/2" EIFS OVER SHAPED PARAPET; DRYVIT
③	CONCRETE MASSING WALL 16" THICK CONCRETE WALL - COLOR: NATURAL GRAY	⑥	PRE-FINISHE METAL PARAPET CAP / TRIM MBCI SIGNATURE 300 (OR EQUAL) COLOR: MATTE BLACK
		⑦	STEEL CANOPY STEEL CANOPY PAINTED; SHERWIN WILLIAMS; IRON ORE
		⑧	ALUMINUM STOREFRONT SYSTEM ALUMINUM STOREFRONT SYSTEM. BLACK ANODIZED FINISH w/ 1" INSULATED LOW-E GLAZING (TINTED BRONZE)
		⑨	OVERHEAD METAL DOOR BY DOOR MANUFACTURER
		⑩	HOLLOW METAL DOOR / FRAME INSULATED HOLLOW METAL DOOR / FRAME; SHERWIN WILLIAMS; IRON ORE



A PROPOSED EAST ELEVATION
SCALE: 3/32" = 1'-0"



B PROPOSED WEST ELEVATION
SCALE: 3/32" = 1'-0"



C PROPOSED SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

D PROPOSED NORTH ELEVATION
SCALE: 3/32" = 1'-0"

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B PROPOSED NORTHEAST VIEW - STREET VIEW
SCALE: 3/32" = 1'-0"

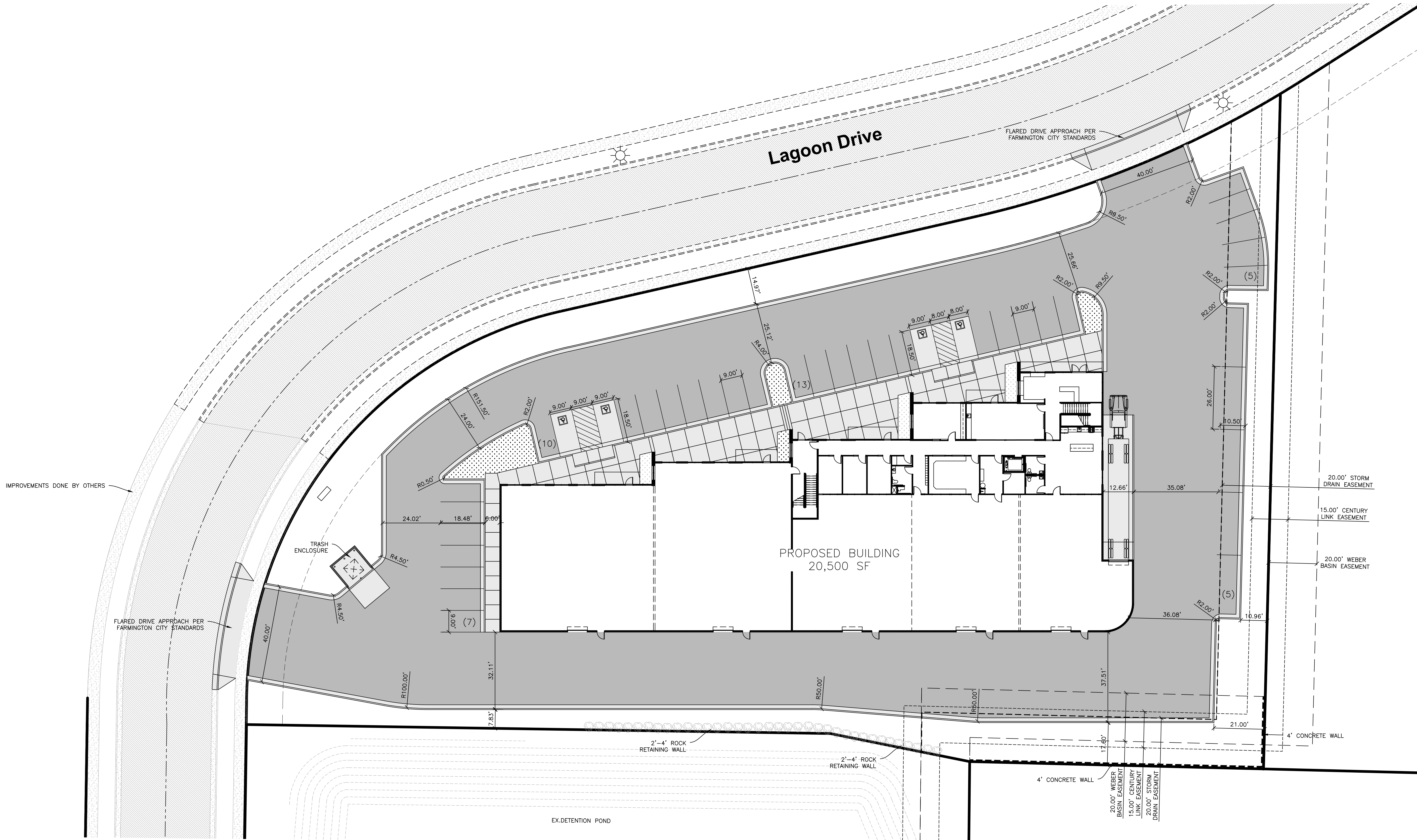


A PROPOSED SOUTHEAST VIEW - STREET VIEW
NOT TO SCALE



C PROPOSED SOUTHEAST VIEW - AERIAL VIEW
NOT TO SCALE

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Lagoon Drive

PROPOSED BUILDING
20,500 SF

IMPROVEMENTS DONE BY OTHERS

FLARED DRIVE APPROACH PER FARMINGTON CITY STANDARDS

TRASH ENCLOSURE

EX.DETENTION POND

2'-4' ROCK RETAINING WALL

2'-4' ROCK RETAINING WALL

4' CONCRETE WALL

4' CONCRETE WALL

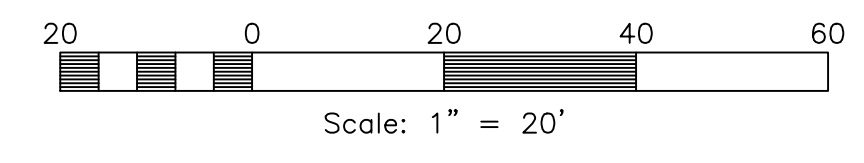
FLARED DRIVE APPROACH PER FARMINGTON CITY STANDARDS

20.00' STORM DRAIN EASEMENT

15.00' CENTURY LINK EASEMENT

20.00' WEBER BASIN EASEMENT

20.00' WEBER BASIN EASEMENT
15.00' CENTURY LINK EASEMENT
20.00' STORM DRAIN EASEMENT



Site Information

LOCATED IN:	FARMINGTON CITY, DAVIS COUNTY	
ORIGINAL PROPERTY:	1.86 ACRES	
BUILDING AREA:	20,500 SF	25.2%
HARD SURFACE AREA:	44,277 SF	54.5%
LANDSCAPE AREA:	16,414 SF	20.2%
PARKING:	40 STALLS PROVIDED	

HE HUNT
ENGINEERING, LLC
HUNT ENGINEERING, LLC
6619 Willow Creek Rd.
Mountain Green, UT 84050
C. 801.664.4724
thomas.hunt@hunt-engineering.com

Complete Natural Products

NORTH 1/2, SEC 13, T3N, R1W, S1B&M
FARMINGTON, DAVIS COUNTY, UTAH

Site Plan

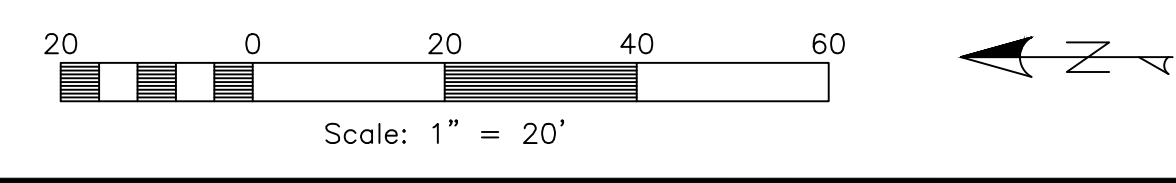
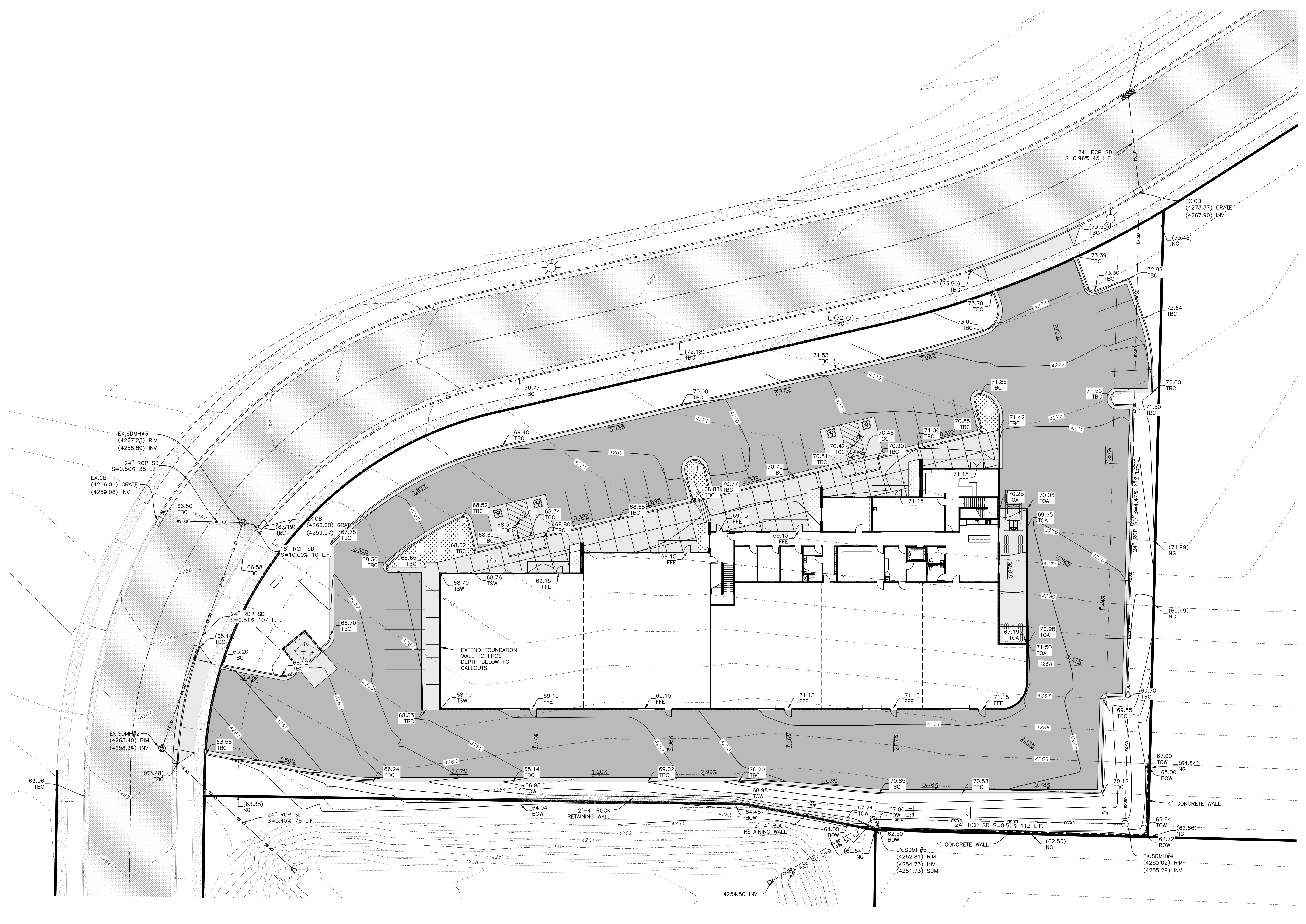
Revisions	Date

ENGINEERS STAMP
PROFESSIONAL ENGINEER
THOMAS J. HUNT
04/07/2022
STATE OF UTAH

PROJECT INFO.

Engineer:	T. HUNT
Drafter:	T. HUNT
Start Date:	03/30/2022
Name:	Scot Poole

SHEET	8
4	SHEETS

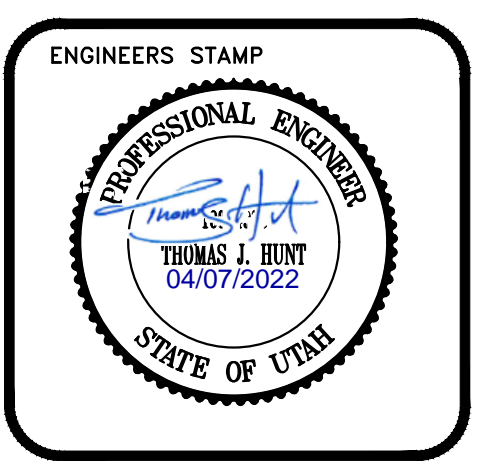


Complete Natural Products

NORTH 1/2, SEC 13, T3N, R1W, S1&2M
FARMINGTON, DAVIS COUNTY, UTAH

Grading & Drainage Plan

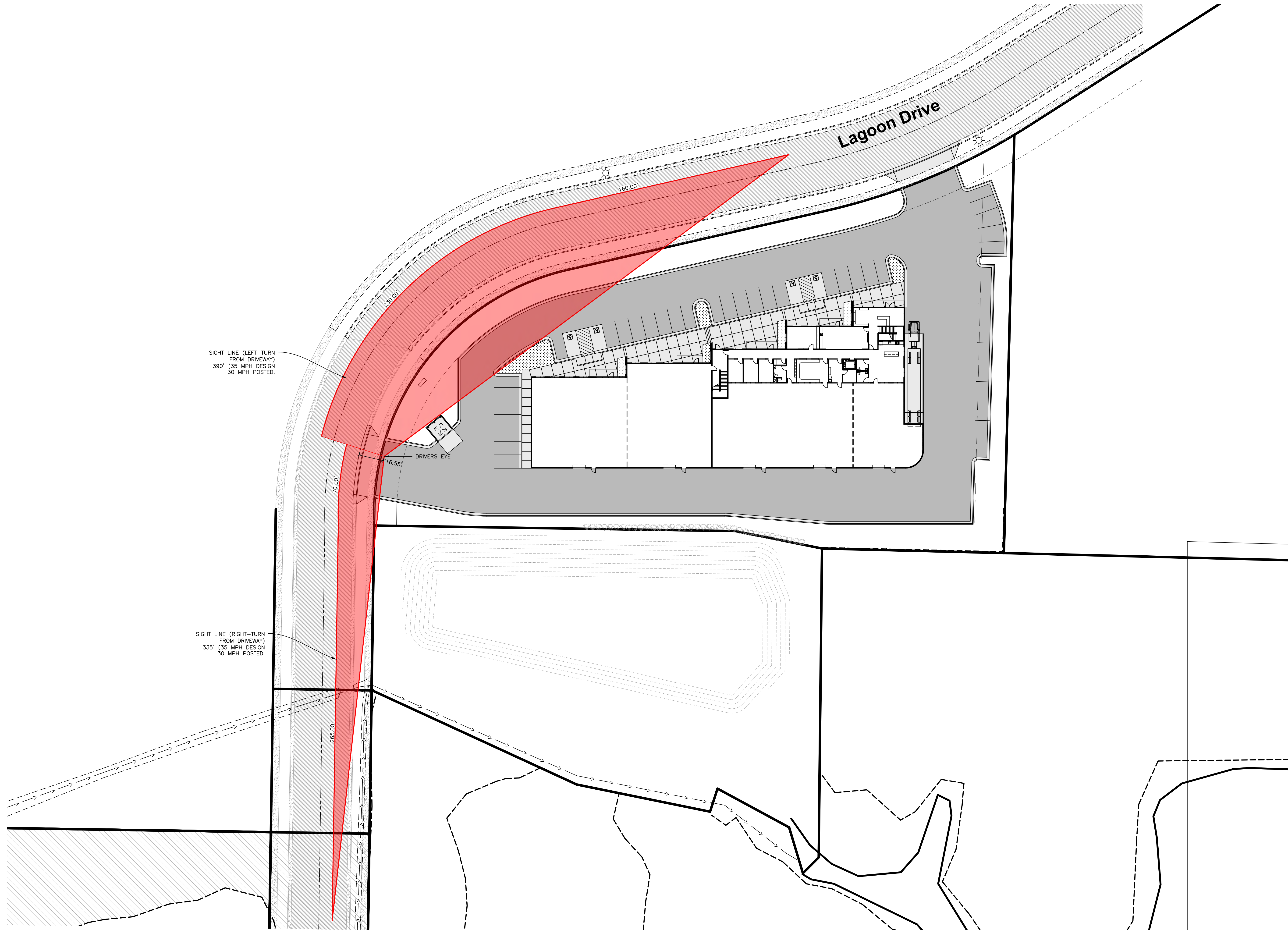
Revisions	Date



PROJECT INFO.

Engineer:	T. HUNT
Drafter:	T. HUNT
Start Date:	03/30/2022
Name:	Scot Poole

SHEET	8
5	SHEETS

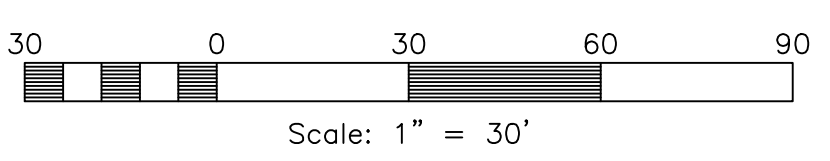


SIGHT LINE (LEFT-TURN FROM DRIVEWAY)
390' (35 MPH DESIGN 30 MPH POSTED.)

SIGHT LINE (RIGHT-TURN FROM DRIVEWAY)
335' (35 MPH DESIGN 30 MPH POSTED.)

DRIVERS EYE

Lagoon Drive



HE HUNT
ENGINEERING, LLC
HUNT ENGINEERING, LLC
6619 Willow Creek Rd.
Mountain Green, UT 84050
C. 801.664.4724
thomas.hunt@hunt-engineering.com

Complete Natural Products
NORTH 1/2, SEC 13, T3N, R1W, S1B&M
FARMINGTON, DAVIS COUNTY, UTAH

Sight Triangle Exhibit

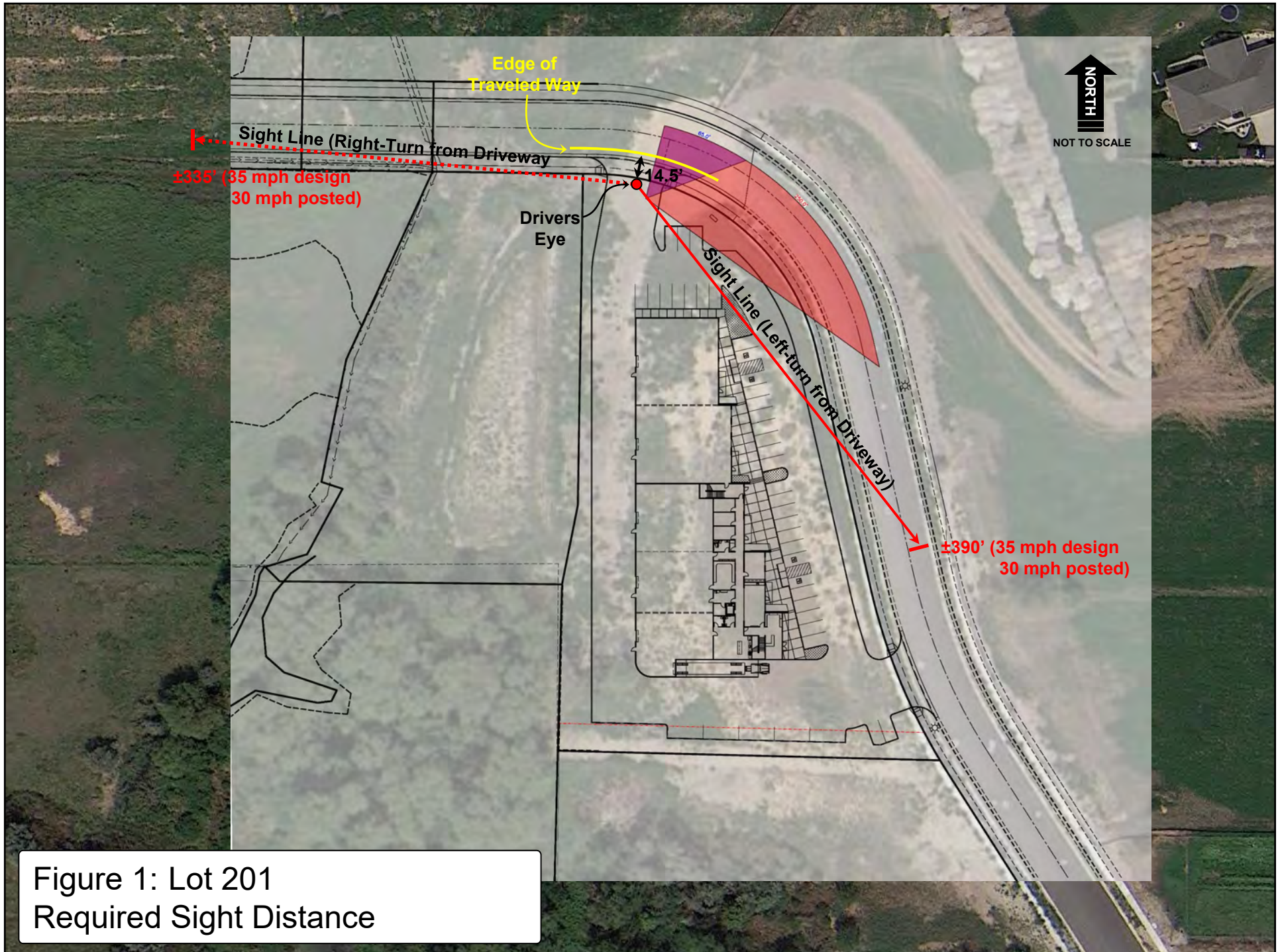
Revisions	Date

ENGINEERS STAMP

 THOMAS J. HUNT
 04/07/2022
 STATE OF UTAH

PROJECT INFO.
 Engineer: T. HUNT
 Drafter: T. HUNT
 Start Date: 03/30/2022
 Name: Scot Poole

SHEET	1
1	1
SHEETS	





Planning Commission Staff Report May 5, 2022

Item 10: Burke Lane Project – Project Master Plan and Schematic Subdivision Plan

Public Hearing:	Yes
Application No.:	S-10-22, PMP-1-22,
Property Address:	Approximately 1500 Burke Lane
General Plan Designation:	TMU (Transit Mixed Use)
Zoning Designation:	OMU (Office Mixed Use)
Area:	2.02 Acres
Number of Lots:	-
Property Owner:	H Group Burke LLC
Agent:	Phil Holland

Request: *Applicant is requesting a recommendation for Schematic Subdivision approval, as well as a recommendation to approve a Project Master Plan for the Burke Lane Project.*

Background Information

This project proposes 20 townhome units and 29 apartment units, as well as 10 retail/office areas. The site plan shows a continuation of the “greenway concept”, an active transportation corridor beginning further north at Spring Creek and culminating at the City’s future 14 acre park. Previous iterations of the project were found by the Planning Commission to have insufficient parking and insufficient commercial/office use. Considering that the total project area is just over two acres, coupled with market demand, the developer has increased the commercial/office space, and provided the townhome units with four parking spaces each. The live-work apartment units feature shared spaces with the commercial building on the corner of 1400 West and Burke Lane.

[Note: Owners of land involving at least 25 acres in the mixed-use zones identified in Chapter 18 of the Zoning Ordinance may elect to use the alternative approval process set forth in Section 11-18-140, but the applicant’s site does not meet this threshold. However, the property, now owned by H Group Burke LLC, entered into an agreement (including an accompanying “global” PMP) with the City on June 9, 2020, (PMP-3-20) which allows the City to consider applications through Section 11-18-140 for property less than the 25 acres in size].

Suggested Motion

Move that the Planning Commission recommend the City Council approve the schematic subdivision plan and Project Master Plan for the Burke Lane Project, subject to all applicable Farmington City development standards and ordinances, and all Development Review Committee (DRC) comments.

Findings:

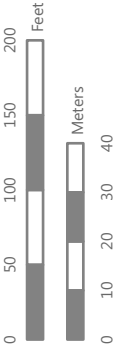
1. There is sufficient parking for both the retail and commercial aspects of the project.
2. The project continues the “greenway concept” connecting the future mixed use office elements, to the City’s proposed park.
3. The project contains an approximately 15,000 sf commercial only concept, as well as live-work units fronting Burke Lane.
4. The project is consistent with other proposals for the Mixed Use district.
5. The developer has agreed to place half of 1400 West, an important connection to the surrounding Farmington Station Center Townhomes Mixed Use project.

Supplemental Information

1. Vicinity Map
2. Schematic Subdivision Plan
3. PMP including elevations



Disclaimer: This map was produced by Farmington City GIS and is for reference only. The information contained on this map is not intended to be used for legal purposes. Farmington City makes no warranty as to the accuracy of the information contained for any other purposes.



VICINITY MAP

1451 West Burke Lane





BENCHMARK
 SOUTH QUARTER CORNER OF SECTION 14,
 TOWNSHIP 3 NORTH, RANGE 1 WEST
 SALT LAKE BASE AND MERIDIAN
 ELEV = 4229.59'

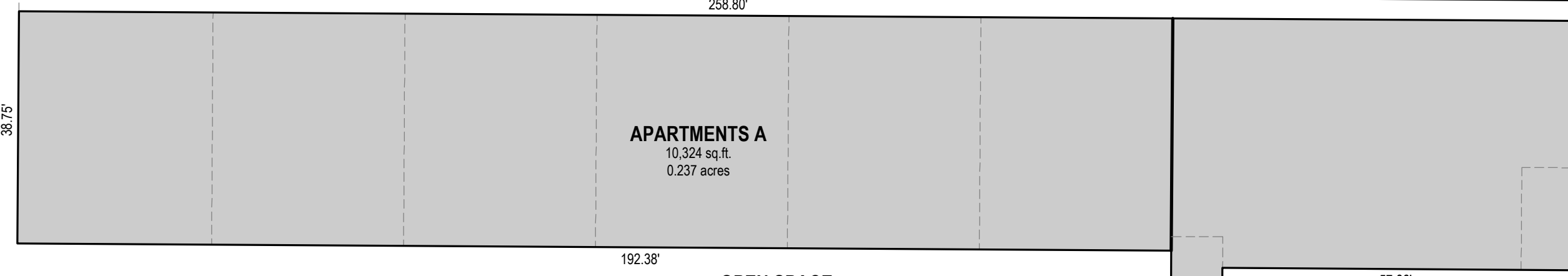
CENTER CORNER
 SECTION 14
 T3N, R1W
 SLB&M
 (NOT FOUND)

1195.41'

S 89°38'13" E 500.00'

BURKE LANE (PUBLIC STREET)

S 89°38'13" E 320.00'



FUTURE OFFICE DEVELOPMENT

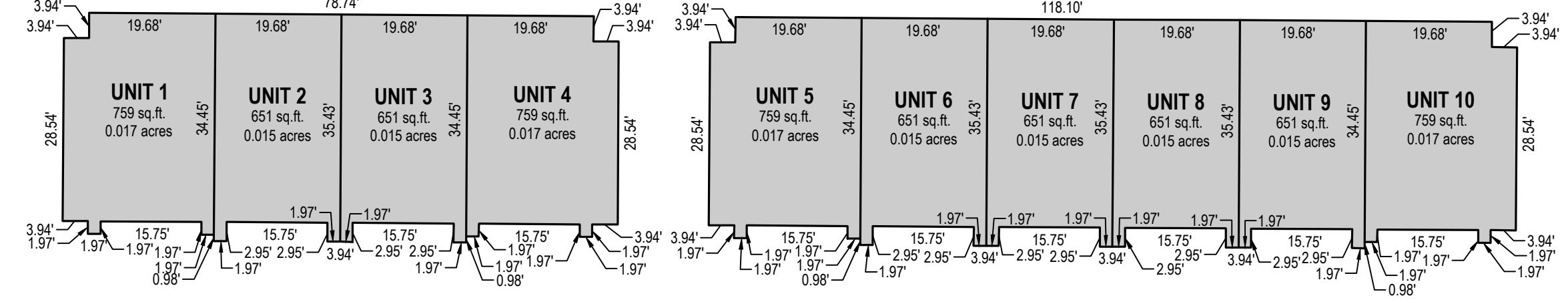
PRIVATE STREET

PUBLIC STREET

FUTURE OFFICE DEVELOPMENT

TOWNHOMES B

TOWNHOMES C



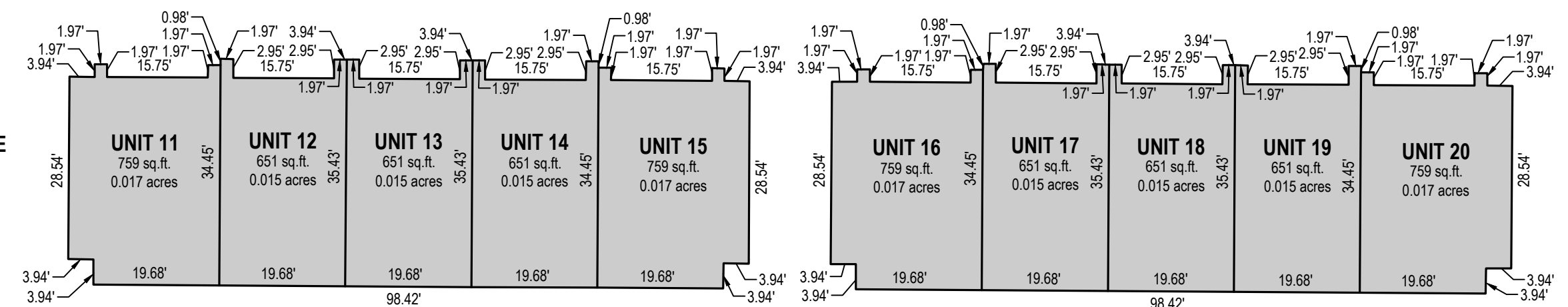
ROAD DEDICATION
 7,740 sq. ft.
 0.178 acres

PRIVATE STREET

OPEN SPACE
 PARCEL C
 11,453 sq. ft.
 0.263 acres

TOWNHOMES D

TOWNHOMES E



N 89°38'13" W 320.00'

FUTURE MULTI-FAMILY DEVELOPMENT

SOUTH QUARTER CORNER
 SECTION 14
 T3N, R1W
 SLB&M
 (FOUND)
 BM ELEV = 4229.59'

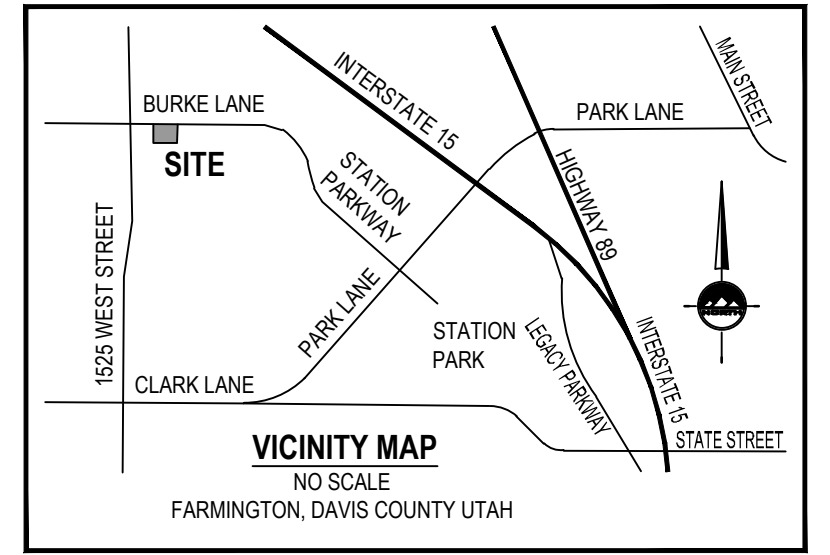
SOUTHEAST QUARTER CORNER
 SECTION 14
 T3N, R1W
 SLB&M
 (FOUND)

2641.2' (MEASURED)

N 0°21'47" E 2639.61' (RECORD)

N 0°21'47" E 257.99'

S 0°21'47" W 257.99'



LAYTON
 919 North 400 West
 Layton, UT 84041
 Phone: 801.547.1100

SALT LAKE CITY
 Phone: 801.255.0529

TOOELE
 Phone: 435.843.3590

CEDAR CITY
 Phone: 435.865.1453

RICHFIELD
 Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
 JUSTIN ATWATER

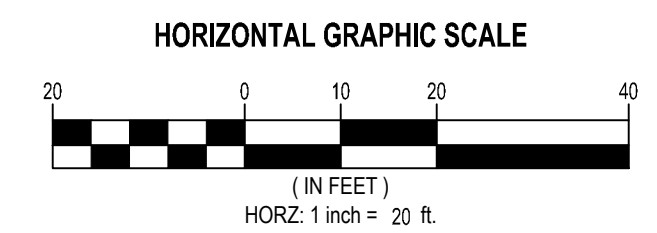
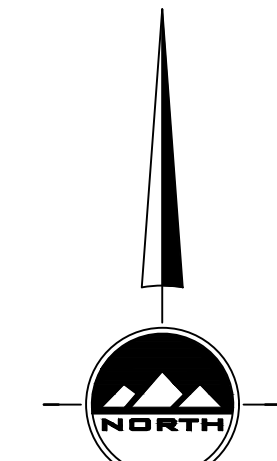
CONTACT:
 PHONE: 801-913-0258

ROMNEY FARMINGTON
1451 WEST BURKE LANE
FARMINGTON, UTAH 84025

SCHEMATIC PLAT

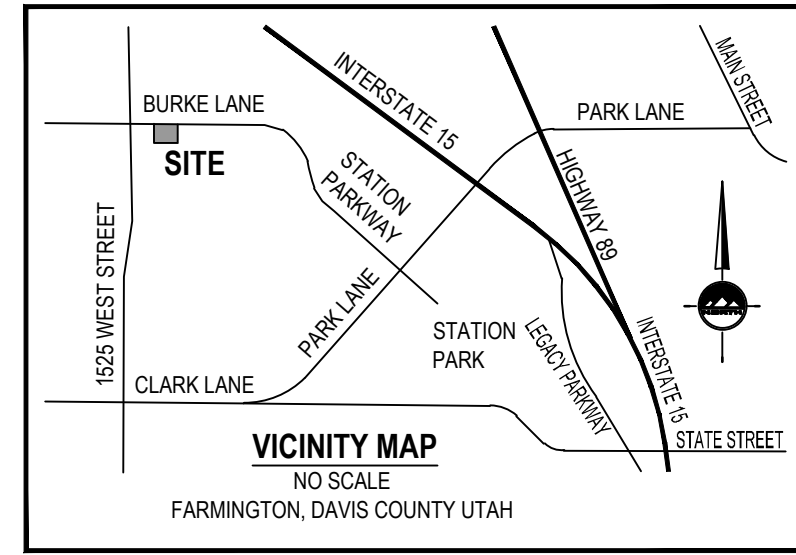
PROJECT NUMBER: 9964
 PRINT DATE: 4/5/22
 DRAWN BY: MELMER
 CHECKED BY: C. PRESTON
 PROJECT MANAGER: C. PRESTON

1 of 1





BENCHMARK
 SOUTH QUARTER CORNER OF SECTION 14,
 TOWNSHIP 3 NORTH, RANGE 1 WEST
 SALT LAKE BASE AND MERIDIAN
 ELEV = 4229.59'



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 Phone: 435.865.1453

RICHFIELD
 Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
 JUSTIN WATER
 1170 GOLDSBUR LANE
 FRUIT HEIGHTS, UTAH 84037
 CONTRACT:
 JustinWater@me.com
 PHONE: 801-813-0258

LAND USE TABLE		
BUILDING SPACE	24,692 sq. ft.	33.0%
HARDSCAPE	32,645 sq. ft.	43.6%
LANDSCAPE	17,480 sq. ft.	23.4%
TOTAL SITE AREA	74,817 sq. ft.	100%
TOWNHOME UNITS	20	
APARTMENT UNITS	39	
TOTAL UNITS	59	
DENSITY	34.35 UNITS/ACRE	

CENTER CORNER
 SECTION 14
 T3N, R1W
 SLB&M
 (NOT FOUND)

1196.41'

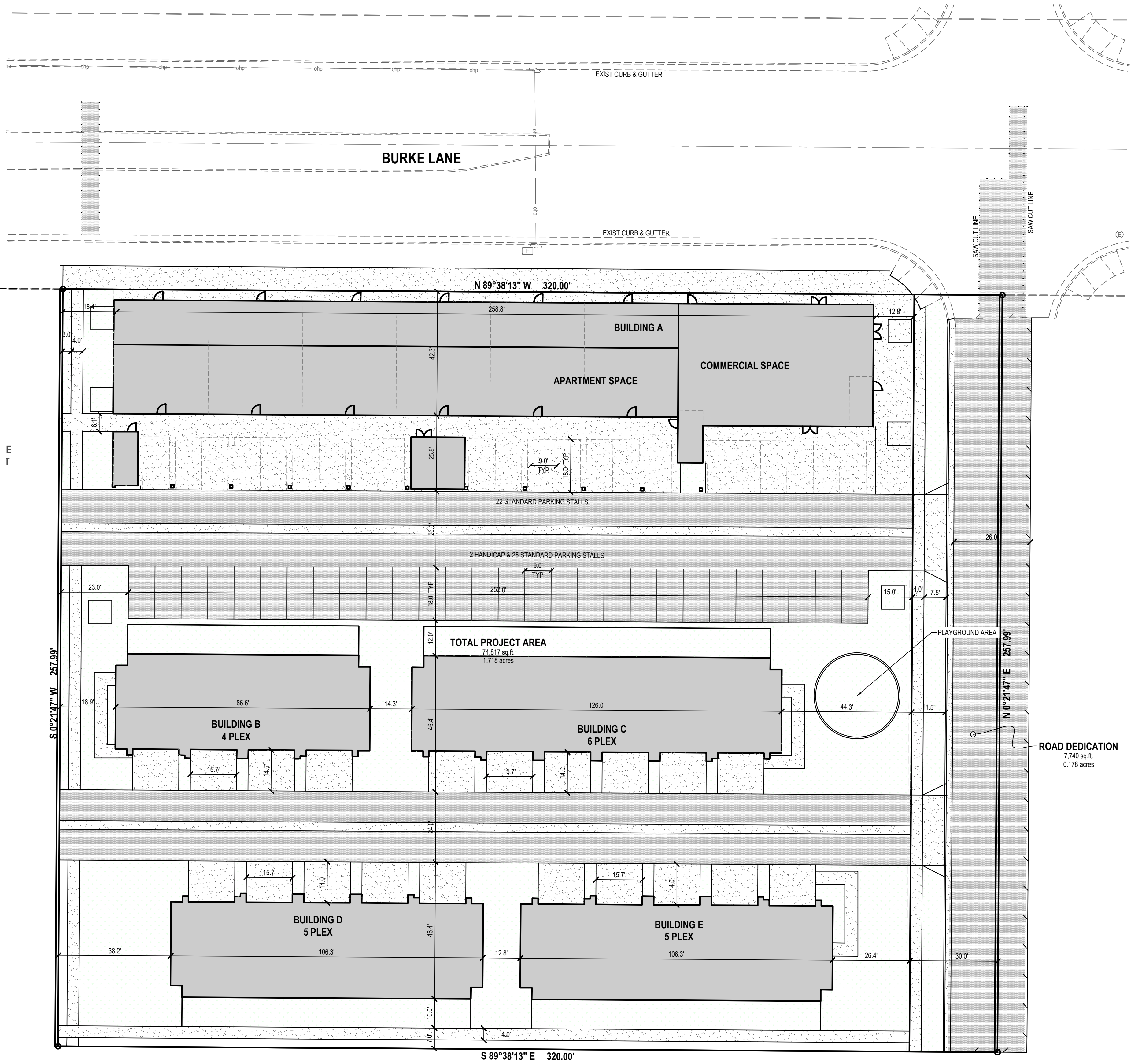
S 89°38'13" E 500.00'

- LEGEND**
- ◆ SECTION CORNER
 - ⊕ EXISTING MONUMENT
 - EXISTING REBAR AND CAP
 - SET ENSIGN REBAR AND CAP
 - WATER METER
 - WATER VALVE
 - ⊕ EXISTING FIRE HYDRANT
 - ⊕ PROPOSED FIRE HYDRANT
 - ⊕ SANITARY SEWER MANHOLE
 - ⊕ STORM DRAIN CLEAN OUT BOX
 - ⊕ STORM DRAIN CATCH BASIN
 - ⊕ STORM DRAIN COMBO BOX
 - ⊕ ELECTRICAL MANHOLE
 - ⊕ ELECTRICAL BOX
 - ⊕ UTILITY POLE
 - ⊕ EXISTING LIGHT
 - ⊕ PROPOSED LIGHT
 - ⊕ GAS METER
 - ⊕ GAS MANHOLE
 - ⊕ GAS VALVE
 - ⊕ TELEPHONE MANHOLE
 - ⊕ TELEPHONE BOX
 - ⊕ SIGN
 - EXISTING EDGE OF ASPHALT
 - PROPOSED EDGE OF ASPHALT
 - sd --- EXISTING STORM DRAIN LINE
 - SD --- PROPOSED STORM DRAIN LINE
 - ss --- EXISTING SANITARY SEWER
 - SS --- PROPOSED SANITARY SEWER LINE
 - ld --- EXISTING LAND DRAIN LINE
 - LD --- PROPOSED LAND DRAIN LINE
 - w --- EXISTING CULINARY WATER LINE
 - W --- PROPOSED CULINARY WATER LINE
 - ohp --- EXISTING OVERHEAD POWER LINE
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - BUILDABLE AREA WITHIN SETBACKS
 - EXISTING CONCRETE
 - PROPOSED CONCRETE
 - EXISTING BUILDING
 - PROPOSED BUILDING

N 0°20'03" E 2639.81' (RECORDED)

1403.20'

SOUTH QUARTER CORNER
 SECTION 14
 T3N, R1W
 SLB&M
 (FOUND)
 BM ELEV = 4229.59'



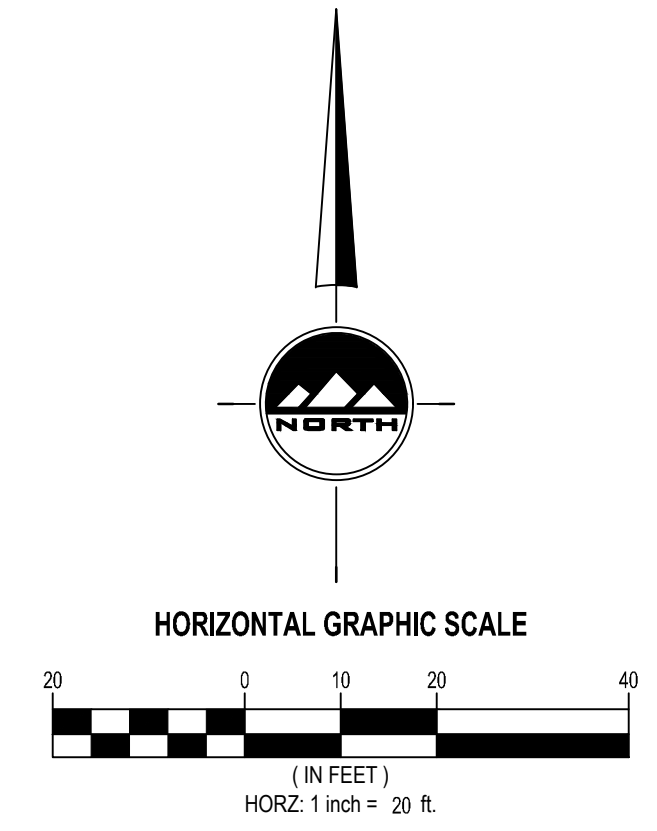
FUTURE MULTI-FAMILY DEVELOPMENT

BASEIS OF BEARINGS N 89°45'49" E 2641.16' (REC) 2641.2' (MEASURED)

MASTER PLAN SUBMITTAL

- a. Land use concepts
 The land use consists of 39 apartment units, 20 townhome unit, and 10 future retail areas, resulting in 69 total units.
 - The parking concept includes commercial parking adjacent to buildings with the required number for each type and at least two parking spaces for each residential unit.
 - Standard Parking Stalls: 57
 - Handicap Access Stalls: 2
 - Garages: 20
 - Total Stalls: 79
 - Private open space will be incorporated into the development with common areas and a playground. The development will have two private roads that will connect to adjacent and future roads.
 - The proposed development area being considered with this PMP is approximately 1.718 acres.
- b. Transportation Narrative
 The site has been planned adjacent to Farmington City's master plan infrastructure road, Burke Lane. The proposed development will construct a stub road to Burke Lane on the east. This will run to the south for future development.
- c. Major stormwater drainage management
 Stormwater for the site will be managed in a detention/retention basin located on site. Stormwater treatment will be implemented prior to water discharging into these areas. The 80th percentile storm will be retained on site as is required.
 - See Preliminary Grading Plan 2 of 3 for additional storm water narration.
- d. Utility Concerns
 Preliminary water and sewer systems are shown on subsequent exhibits.
- e. PMP adjacent land compatibility
 The area surrounding this site is also mixed use.
- f. Sequence and timing
 At this time, the residential apartments and townhomes are being planned for immediate construction pending approval. The configuration of the eastern access will consist of roadway construction that connects to Burke Lane and will match alignment of the existing intersection stub, per design of City's consultant.
- g. Existing structures and future development
 Existing utilities are identified, the property is bounded by land parcels to the north, south, east and west. Future development is expected to connect to the south, west and east.

SOUTHEAST QUARTER CORNER
 SECTION 14
 T3N, R1W
 SLB&M
 (FOUND)



**BURKE LANE MIXED USE
 PMP
 1451 WEST BURKE LANE
 FARMINGTON, UTAH 84025**



NO.	DATE	BY	FOR REVIEW	MCE
1	3/11/21			
2				
3				
4				
5				
6				
7				
8				

**SCHEMATIC
 SITE PLAN**

PROJECT NUMBER: 9964
 PRINT DATE: 4/5/22
 DRAWN BY: MELMER
 CHECKED BY: C. PRESTON
 PROJECT MANAGER: C. PRESTON



ONYX
DESIGN
COLLECTIVE



ONYX
DESIGN
COLLECTIVE



ONYX
DESIGN
COLLECTIVE



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