



HISTORIC BEGINNINGS • 1847

**Farmington City Planning Commission**

**May 19, 2022**



# FARMINGTON CITY

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CITY COUNCIL

SHANE PACE  
CITY MANAGER

**Thursday May 19, 2022**

Public Meeting - Farmington City Hall  
160 S. Main Street, Farmington, Utah.

Study Session: 6:30 p.m.

**Regular Session: 7:00 p.m.**

*Farmington City Planning Commission meetings, including this meeting, are open to the public. If you wish to view the regular session online, the link to the live hearings and to comment electronically can be found on the Farmington City website at [www.farmington.utah.gov](http://www.farmington.utah.gov). If you wish to email a comment for any of the listed public hearings, you may do so at [crowe@farmington.utah.gov](mailto:crowe@farmington.utah.gov) by 5 p.m. on the day listed above.*

## SUMMARY ACTION

1. Approval of 05.05.2022 Minutes
2. H Group Burke LLC – Applicant is requesting a recommendation for a PMP/DA (Project Master Plan/Development Agreement), for the proposed Burke Lane project, located at approximately 1500 Burke Ln. (2.02 acres). (PMP-1-22)

## ZONE TEXT AMENDMENTS

3. Farmington City (Public Hearing) – Applicant is requesting a recommendation to amend Chapter 11-10 Agricultural Zones, to allow for additional lot coverage for buildings or structures which are on site not more than 90 days a year.
4. Farmington City (Public Hearing) – Applicant is requesting a recommendation to amend Chapter 11-18, Mixed Use Districts, to allow for the flexibility in building sitting and location of parking in relation to a secondary street for hospitality uses.
5. Farmington City (Public Hearing) – Applicant is requesting a recommendation to amend Chapter 11-19, Commercial Mixed Use (CMU) Zone, to allow for the consideration of off-street parking between a building and a street to improve traffic safety, and to permit the consideration of flat roof architecture on new commercial buildings.

## SUBDIVISION, CONDITIONAL USE/SITE PLAN, PRELIMINARY PUD MASTER PLAN, AND ZONE CHANGE APPLICATIONS

6. Jake Kilgore/Telt Properties LLC (Public Hearing) – Applicant is requesting Conditional Use approval for a one lot Planned Center Development (PCD), for the proposed One Solar project, located at 819 N Lagoon Dr. (2.01 acres). (C-8-22)
7. Ensign Financial Group LC (Public Hearing) – Applicant is requesting a Conditional Use approval for a one lot Planned Center Development (PCD), and a Special Exception for parking, for the proposed Complete Natural Projects development, located at 875 N Lagoon Dr. (1.86 acres). (C-7-22)
8. Dharmesh Adir (Public Hearing) – Applicant is requesting a recommendation for a Schematic Subdivision plan and an approval for a Schematic (Concept) Site Plan for the proposed Farmington Station Parkway Phase 2 Project, located at approximately 595 N Station Parkway (2.32 acres), which includes a hotel. (S-13-22, SP-6-22)
9. C.W Urban (Public Hearing) – Applicant is requesting a recommendation for a Schematic Subdivision and Preliminary PUD Master Plan and a request for recommendation to rezone the property from A (Agricultural) to CMU (Commercial Mixed Use) for the proposed “The Ivy” project, consisting of 68 townhomes, located south of Shepard Park Road at approx. 1000 North (Parcel ID 080510235), on 9.63 acres of property. (S-7-22, Z-4-22)

## OTHER BUSINESS

10. Miscellaneous, correspondence, etc.
  - a. City Council Report
  - b. Other

*Please Note: Planning Commission applications may be tabled by the Commission if: 1. Additional information is needed in order to act on the item; OR 2. If the Planning Commission feels, there are unresolved issues that may need additional attention before the Commission is ready to make a motion. No agenda item will begin after 10:00 p.m. without a unanimous vote of the Commissioners. The Commission may carry over Agenda items, scheduled late in the evening and not heard to the next regularly scheduled meeting.*

**FARMINGTON CITY  
PLANNING COMMISSION**

May 05, 2022

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**WORK SESSION**

**Present:** Chair Rulon Homer; Vice Chair Erin Christensen; Commissioners Larry Steinhorst, John David Mortensen, Mike Plaizier, Samuel Barlow, and Tyler Turner; and Alternate Commissioner Ryan Bentley. **Staff:** Community Development Director David Petersen, Assistant Community Development Director Lyle Gibson, City Planner/GIS Specialist Shannon Hansell, and Planning Secretary Carly Rowe.

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**REGULAR SESSION**

**Present:** Chair Rulon Homer; Vice Chair Erin Christensen; Commissioners Larry Steinhorst, John David Mortensen, Mike Plaizier, Samuel Barlow, and Tyler Turner; and Alternate Commissioner Ryan Bentley. **Staff:** Community Development Director David Petersen, Assistant Community Development Director Lyle Gibson, City Planner/GIS Specialist Shannon Hansell, and Planning Secretary Carly Rowe.

Commission Chair **Rulon Homer** opened the meeting at 7:04 PM.

**SUMMARY ACTION**

**Rulon Homer** opened the Public Hearing for Items #1 through 6 at 7:06 PM. The motion approving Summary Action Items #1-6 was made following Item #6.

**Item #1 Minutes**

Regarding the April 14, 2022, meeting minutes, Commissioner **Erin Christensen** asked to amend Page 3, striking “closer in the future” to read “more closely by Staff and the City Council.”

**Item #2 Symphony Homes – Applicant is requesting a Final Subdivision approval for the proposed Hidden Farm Estates Subdivision, located at approximately 800 W. Shepard Park Road (9.13 acres). (S-18-21)**

Hidden Farm Estates subdivision is a proposed 16-lot subdivision located in the Commercial Mixed Use (CMU) zone. The entire area is part of the East Park Lane Small Area Master Plan. The City Council approved a rezoning of the parcel on October 19, 2021, to CMU and Large Residential (LR), split 3.67 acres and 7.032 acres respectively. The Planning Commission approved the preliminary plat on January 6, 2022.

The Planning Commission approved the final plat for Hidden Farm Estates, subject to all applicable Farmington City development standards and ordinances, and all remaining Development Review Committee (DRC) comments, and the preliminary plat.

**Finding for Approval 1:**

1. The final plat is consistent with the East Park Lane Small Area Master Plan, a component of the City’s General Plan.

**Item #3 FSC Development LLC – Applicant is requesting a Final Subdivision approval for the proposed Farmington Station Center Townhomes Subdivision, located at approximately 1525 W Burke Lane (17.60 acres). (S-12-21)**

The Planning Commission approved the preliminary plat for the Farmington Station Center Townhomes project in March of this year. Since that meeting, the developer has provided more detailed drawings and plans for the review of Staff and is now seeking Final Plat approval for that project.

The development has remained consistent from the Project Master Plan/Schematic Subdivision, Preliminary Plat, and now Final Plat in its general layout and design. The final plan includes 122 townhome units. These units are three- and four-story townhomes with rooftop space on the larger units located primarily around the perimeter of the project. Parcel A remains available for future commercial development, and the units proposed along Burke Lane are designed as live/work space.

The approval of the Preliminary Plat came with a list of conditions that have been/are being addressed as follows:

1. A note shall be placed on the Final Plat and/or a shared use agreement shall be in place to allow access from what is identified as Sego Way to the Romney properties identified on the preliminary plat as parcels # 08-060-0012 and 08-060-0013.
  - The applicant has confirmed that they will grant access to these properties. The text is not currently shown on sheet 3 of 3 of the final plat, but will be included on the mylar and addressed with the CCRs for the project prior to recording.
2. Applicant provide documentation of ability to complete 1400 West Street curb to curb between project and Burke Lane.
  - Both the applicant and developer working on the applicable neighboring property have been in contact and are in agreement to cooperate to ensure this road facility is completed. Staff understands that there is a verbal agreement for this to take place and a draft written agreement under consideration. This will need to be formalized prior to issuing a permit to construct subdivision improvements.
  - Similarly, the applicant has been given direction to coordinate the detail for the sidewalk along Henson Trail Lane in relation to the Burke Lane project taking place immediately adjacent to it to reduce duplicate infrastructure if it isn't necessary.
3. West side of 1400 West Street be modified to include greenway/enhanced pedestrian pathway and exchange agreement to be finalized with Farmington City.
  - The applicant/developer has accommodated this request by shifting the right-of-way on 1400 West Street to the east some 15 feet and adding additional width to the sidewalk and enhanced landscaping in this area.
4. Decision of record for final wetland delineation shall be provided for development of northwest 20 units, otherwise Final Plat shall be completed with phasing.
  - This decision is still pending and will hold permits or limit amount of construction activity permitted.
5. Applicant and Staff shall verify Final Plat format per back-to-back units and potential condominium type plat.
  - The builder and building official have been in contact and have confirmed the required construction type for the units as an R-2. This subdivision plat will work for that type of construction. A note will need to be placed on the mylar before recording that this will be needed for buildings 2, 3, 5, 12, 13, and 15.
6. City and applicant to coordinate update of zoning district on property currently controlled by Farmington City RDA.
  - This has been recommended for approval by the Planning Commission and is on the agenda of the City Council 5/3/22 for final approval.
7. In addition, the applicant has shown the Right-of-Way dedication to include the park strip and sidewalk along the public roads. This is common, but the mylar will include that area as part of the private property under easements rather than full street dedication.

The Planning Commission approved the final plat for Farmington Station Center Townhomes Subdivision subject to all applicable Farmington City ordinances and development standards and any remaining DRC comments, and the completion of items 1-7 listed in this report prior to recording.

Findings for Approval 1-2:

1. The Final plat is consistent with the approved Preliminary Plat, Schematic Subdivision Plan and Project Master Plan and follows applicable ordinances and standards and the approved Development Agreement. Providing for the anticipated housing produce, commercial uses, and live/work space within the general configuration and previously seen number of units.
2. The remaining construction drawing review process, coupled with the applicable conditions of approval, will address remaining details to ensure the project fully follows applicable standards and ordinances.

**Item #4 Farmington City (Public Hearing) – Applicant is requesting a recommendation to amend/include additional text to the City's Zoning Ordinance to modify Title 11, Zoning Regulations, to clarify what is considered a "Kennel" and where/when it is permitted. (ZT-4-22)**

Recently the City received complaints related to more than one person/household allegedly keeping, boarding and/or breeding dogs. As part of its efforts to address these concerns, Staff realized more can be done to improve the City's definition for the word "kennel" and that the City should consider updating the Zoning Ordinance to include more information as to where and when kennels are permitted.

The Planning Commission recommended that the City Council approve the proposed enabling ordinance.

Findings for Approval 1-2:

1. The City's existing definition for the word "kennel" from the Davis County Animal Control Ordinance, which is part of City Code (Title 7) states: "'Kennel' means land or buildings used in the keeping of three (3) or more dogs, four (4) months or older. The proposed zone text amendment expands this definition by providing a reason. That is: for "boarding, breeding, training or other purposes."
2. The amendment also places a reference to where and when kennels are permitted in Chapter 29 of the Zoning Ordinance (titled "Animals and Fowl").

**Item #5 Laurel Cahoon (Public Hearing) – Applicant is requesting a recommendation of a Metes and Bounds (lot-split) Subdivision located at 877 N. Main Street (0.47 acres). (S-12-22)**

The subject property is located on the west side of Main Street at the subject address. There is currently one single-family home on the property with a detached garage. The applicant intends to keep the existing home and, with the approval of the subdivision, there would be an additional lot where one more could be built.

Conventional lots in this zone are 20,000 square feet minimum. However the existing zoning allows for alternative lot standards if the applicant provides moderate income housing or some other public benefit (see FCC 11-11-050 (b)(1)(a)). In discussion with City Staff, the applicant has provided a letter indicating their interest in pursuing the "some other public benefit" route by offering to include her home on the Farmington City Historic Sites List, as it was built in 1928.

The applicant has demonstrated with a yield plan that the property can meet the subdivision yield plan standards of FCC 11-12-070, thus opening up for the ability to have some flexibility in the actual layout of the lots. As proposed, the subdivision would leave the existing home and detached garage on a 13,339 square foot lot with a new 6,808 square foot lot created to the south of the existing home fronting Main Street.

Of note, "The Rose" development that is surrounding this lot with 50 new homes has lots ranging in size from 3,600 square feet to 7,000 square feet, most of which are under 5,200 square feet in size.

The Planning Commission recommended approval of the proposed Metes & Bounds Subdivision for the applicant, subject to completing the listing of the historic home on the Farmington City Historic Sites List and participating in a pro-rata share of improvement costs based on the amount of Main Street Frontage for asphalt widening, curb, gutter, and sidewalk.

Findings for Approval 1-4:

1. The proposed public benefit is sufficient for a small subdivision gaining one additional lot needed to subdivide under the existing zone.
2. The proposed lots will be compatible and in fact larger than most new single-family home lots being developed in the immediate area.
3. The properties maintain frontage on a public road (Main Street) and have access to utilities from that Right of Way.
4. There has previously been established additional access into the property from Penelope Court to the south to better facilitate access to the site.

**Item #6 Phil Holland (Public Hearing) – Applicant is requesting preliminary plat approval and a recommendation for Preliminary Planned Unit Development (PUD) Master Plan approval, for the proposed Juniper Estates Subdivision located at 400 S. 650 W. (3.15 acres) (S-1-22)**

On March 3, 2022, The Planning Commission reviewed and recommended that the City Council approve the schematic subdivision plan for the proposed Juniper Estates Subdivision, and the Council approved the same on March 15, 2022.

The Planning Commission approved the preliminary plat and recommend the City Council approve the Preliminary PUD Master Plan for the Juniper Estates Subdivision subject to all applicable Farmington City development standards and ordinances and the following:

1. The owner must meet all remaining City standards, including but not limited to, any outstanding DRC (Development Review Committee) comments.

2. The applicant shall move the location of the turnaround further to west, and design the east end of Juniper Drive to accommodate a possible/eventual local street connection through the center of the parcel to the south (Property I.D. #08-078-0064); and in so doing reconfigure Lot 6, ideas for such may include, but are not limited to, a possible flag lot.
3. Applicant shall require/provide an Accessory Dwelling Unit (ADU) as approved by the City within at least one of the lots of the subdivision.
4. The City must approve, by agreement consistent with the standards contained in the Zoning Ordinance, one Transfer of Development Rights (TDR) lot to replace the open space required for single-family PUDs.
5. The preliminary plat shall become effective only upon approval of a Preliminary PUD Master Plan by the City Council.

Findings for Approval 1-4:

1. A PUD will ensure quality design and transition treatments, such as fences, and will not detract from the existing housing stock in the vicinity.
2. The base lot amount may be achieved by a 10% set aside in open space for the PUD, or .315 acres. Arguably this is a small amount and it may also be difficult for a Homeowner's Association (HOA) consisting of just five or six lot owners to maintain long-term; replacing the open space through a TDR may be beneficial for the community overall.
3. Farmington benefits from the additional open space transferred off-site to the regional park, or possibly elsewhere via a cash payment acceptable to the City.
4. The subdivision provides a street to adjacent property that is now inaccessible, and such additional access improves public safety.

**Natalie Hogan** (417 S. 650 W., Farmington, Utah) lives next door to the proposed Juniper Estates Subdivision. Looking at the preliminary plat map, it appears Juniper Drive may cause her to lose access to her own driveway and property. The 650 West construction project could affect her sump pump line on the south side of the driveway. She worked with Assistant City Manager/City Engineer **Chad Boshell** on that line, which helps her basement not flood.

Community Development Director **Dave Petersen** said two radiuses for the driveway apron and the road do conflict on the plans. However, staff believes that things can be made to work out and creating something with very close proximity will be fine as-is, considering the average home gets nine to 10 vehicle trips each day. **Hogan's** primary parking is on the south. The access road can be designed so it is 6 feet off the property line coming into the radius, and she won't lose her access rights. In the future, **Hogan** can have a private drive coming into her own property. It can be a condition that the City Engineer and Planning Staff work on a good connection. The City Engineer is working on design drawings that need to be brought back. The radius will continue around to accommodate **Hogan's** driveway, which is not a high-traveled thoroughfare.

Assistant Community Development Director **Lyle Gibson** said Juniper Drive will be a public drive with full public access.

**Rulon Homer** closed the Public Hearing for Items #1 through #6 at 7:09 PM.

**MOTION for Items #1 through #6**

**Erin Christensen** made a motion to approve Summary Action Items #1 through #6, with a motion to amend the minutes as noted in item #1 (per her email sent to staff earlier that day), adding the comma in #4, and adding the condition in Item #6 that the **Hogan** private-drive and the connection with Juniper Estates must be worked out before final plat, and subject to all the conditions and findings as listed in the Staff Report(s).

**Tyler Turner** seconded the motion, which was unanimously approved.

**SUBDIVISION, SITE PLAN, PROJECT MASTER PLAN, PRELIMINARY PUD MASTER PLAN, AND ZONE CHANGE APPLICATIONS**

**Item #7 Travis Tanner – Applicant is requesting a recommendation for a zone change from OTR (Original Townsite Residential) to BR (Business Residential), on the back half of the property (approx. 6,750 square feet), located at 174 E. State Street (0.31 acres). (Z-3-22)**

This item was tabled from the April 14, 2022, Planning Commission meeting on the recommendation from Staff that there be additional information to explain why the rezone was necessary and what it may accommodate. Since meeting last with the Planning Commission, the applicant has been in contact with Staff to confirm that they are just interested in rezoning the back portion of the property as was originally noticed, and they have provided Staff with a draft agreement that would provide access to the back portion of their property from the townhome development to the east. As the letter is only in draft form dating back nearly two years, and as it was not intended for day-to-day ingress, it has not—at least to the satisfaction of City Staff—resolved the question of what development this may accommodate and whether or not that development would be desirable to the City.

The subject property is the deepest lot along the south side of State Street between Highway 106 as it bends south and 200 East Street. The owners are ultimately interested in dividing their property such that the existing home along State Street remains on a smaller lot while the back portion of the property could be sold at some point for future development. Based on the existing lot width and available access, the most likely scenario for development of this property would be to have adjacent property owners to the east or west combine it with their property. While the requested rezone seems to be consistent with a gap in the boundary of the BR zoning district in this area, there are some nuances to understand in consideration of the rezone.

The applicant's property contains a total of 13,503 square feet. The existing OTR zone has a minimum lot size of 10,000 square feet, and the requested zone has a minimum lot size for a single-family home of 8,000 square feet. While the subdivision of the property is not currently being requested, understanding how this may happen in the future is relevant. The City would either be setting the grounds for a non-conforming lot or is assuming that only 3,500 – 5,500 square feet of property will be absorbed into another property for future development, as it cannot develop on its own.

Modifying the zone boundary at this point in time would simply put multiple zones over the subject property, creating challenges in administration of zoning regulations since it cannot develop further on its own as requested. It is unknown how the request may benefit future development, as it is not known if there is need or interest to absorb any portion of this property, let alone how much property or in what configuration.

The regulations of the OTR zoning district, which this property is currently part of, can be found in [FCC 11-17](#). It primarily permits single family residential and agricultural uses. The regulations of the requested BR zoning district can be found in [FCC 11-15](#). This zone allows for some limited commercial and residential uses. A rezone request is a legislative matter to which the Planning Commission provides a recommendation to the City Council.

**Homer** said he had talked with the applicant's wife earlier that day, promising to check if there was enough property for a flag lot, and there is not. He said he knows it has been frustrating to the applicant because things have gone back and forth.

Applicant **Travis Tanner**, property owner, addressed the Commission, saying they had been told if they put the existing home on the historic registry, there would be enough room for a flag lot. He still wants to pursue changing the zoning. He wants to change the back half of the lot to the BR, leaving the front portion zoned OTR. The property as zoned currently sticks out like a sore thumb. If the back half is rezoned, that portion becomes an investment lot. He understood that any future development on that lot would have to be approved by the City.

**Gibson** said he concurs with the applicant that drawing the brown line straight across makes sense and matches what is around it, but he is unsure what development it would accommodate. There are some properties in the OTR zone that are sub-10,000 square feet. Flag lots are expressly prohibited in the OTR zone. Things may need to be refigured and re-laid out. It is nice to know the proposed development with additional detail before granting entitlement through a zone. Staff is hesitant to recommend rezoning. He is still concerned with the minimum lot size without a development plan. Having multiple zones on one lot poses challenges in how to administer rules over a property. There are access issues as well.

Commissioner **Turner** said there is logic to making more money if the lot was rezoned prior to being sold. He asked if the Staff could recommend configurations that would allow the applicant to get the zone change granted.

**Christensen** said there is some logic in some respects, but the Commission already gave Staff the opportunity to work something out with the applicant. At this point, they were not able to make it work. This could next move on to the City Council agenda. In the

meantime, Staff or the applicant could see if they could come up with a way for how the left over 3,000 square foot piece could be used. This could be shown to the City Council at that point. She doesn't feel it makes sense to table this item again. **Homer** said this decision could be appealed to the City Council.

**MOTION:**

**Larry Steinhorst** made a motion that the Planning Commission recommend denial of the proposed rezone request from OTR to the BR zoning district, with Condition 1:

1. Without a development plan by adjacent properties to utilize the land under consideration, the requested rezone does not lend to development or redevelopment of the property that follows current city ordinances.

**Erin Christensen** seconded the motion, which was unanimously approved.

**Item #8 Jake Kilgore/Telt Properties LLC (Public Hearing) – Applicant is requesting schematic site plan approval and a recommendation for a Preliminary PUD Master Plan approval, for the proposed One Solar project, located at 819 N. 425 W. (2.01 acres). (SP-4-22)**

**Petersen** introduced this agenda item. The subject property is located in the Commercial Mixed Use (CMU) zone. Unlike some (but not all) districts in the Zoning Ordinance, which list uses as either "permitted" or "conditional," the uses in the text of the CMU zone are set forth as "allowable" (Section 11-19-040). Moreover, "All projects proposed within the CMU zone shall be reviewed and approved either as a planned unit development [PUD] pursuant to chapter 27, or as a planned center development in accordance with the conditional use permit provisions of chapter 8" (Section 11-19-160).

It may be possible for the Planning Commission to review the One Solar project as a conditional use (even though the Zoning Ordinance provides little detail about "planned centers"), but the applicant is requesting a flat roof instead of a sloped roof, as required in the CMU zone unless mechanically impractical to do so (Section 11-19-070 A. 4.). A conditional use permit does not allow one to deviate from the standards of the underlying zone like a PUD overlay does, and this is usually only accomplished in exchange for such things as open space set-asides, better design, historic preservation, etc.

**Petersen** said he informed the applicant that there is frustration about the way the PUD ordinance is structured, as it is catered to residential development. It makes only a few references to commercial. This could be reviewed as a conditional use in the CMU zone, with matching existing exterior elevations. The applicant provided a black and white elevation, but more information is needed on the exterior elevations. The flat roof standard is of concern, although slope is not defined.

**Christensen** said it doesn't feel it meets the definition of a PUD, which she is comfortable leaving as written to reference a large-scale residential development. She is in favor of looking at this through the conditional use process. The flat roof may need to be discussed in light of the residential across the street.

**Petersen** said the use of this building would involve a lot of mechanical equipment that may be difficult to get into a sloped roof. That could be used to justify a conditional use. More information is needed on the proposed exterior. **Christensen** said the design standards in the CMU call for complementary architecture. Discussion amongst the Commission asked if something could be done on the exterior to give the look of a sloped roof, to fit in with the existing residential, while at the same time maintaining the function of a flat roof.

**Petersen** said he is hesitant to remain concerned with how it fits in with the residential across the street, as a compromise was made in the past. The CMU as master planned allowed for 14 units per acre. They came in as a compromise, agreeing to do five to six residential units per acre if residential development rights were stripped from two commercial pads. This was done by agreement. The PUD ordinance is lacking, as it doesn't address commercial uses. The applicant is prepared to go the PUD route, but it seems easier to go the conditional use route.

**Christensen** asked why the ordinance mentions sloped roof, when it maybe is an old style. The Commission may want to consider a zone text amendment on that one line. Other commissioners agreed, asking what the intent for a pitched roof may be. **Petersen** said creating a pitch on the roof would make the building look cartoonishly odd.



**Jake Tate** (2010 N. Redwood Road, Salt Lake City, Utah), the civil engineer representing applicant **Jake Kilgore**, addressed the Commission. There is a quarter inch slope per foot on the roof surrounding the mechanical enclosure for drainage issues. They are open to pursuing the conditional use route. The building is to accommodate Amateur Athletic Union (AAU) basketball tournaments after hours and on weekends. It also includes office space in the front to accommodate solar panel storage. The entire second floor is office space. They are moving from Woods Cross. The parking for the office and basketball were not overlapped because they will not be used at the same time. The mechanical equipment pieces are 12x8 feet.

**Rulon Homer** opened and closed the Public Hearing at 7:56 PM, as no one wished to comment.

**Christensen** said continuing this is a good idea so Staff can redo the Staff report to consider the item as a conditional use. That would take a close look to make sure Chapter 19 standards are met. She would like to consider the reasoning that flat roofs are prohibited. **Petersen** said the flat roof consideration should be an agenda item separate from this application. There is a point where a sloped roof doesn't make sense, and he pointed to City Hall as an example. The span of the roof must be considered.

**MOTION**

**Erin Christensen** made a motion that the Planning Commission continue this agenda item to a future meeting and direct the applicant and Staff to come back with an application under the Planned Center Development standards and conditional use process as outlined in Chapter 19 for the CMU zone, specifically to make sure that all the standards included therein are met, including more detail on the exterior materials of the buildings, additionally Staff take a look at the prohibition on flat roofs, and make a recommendation on potentially amending that ordinance.

**Tyler Turner** seconded the motion, which was unanimously approved.

**Item #9 Ensign Financial Group LC (Public Hearing) – Applicant is requesting a recommendation for a PUD (Planned Unit Development) for the proposed Complete Natural Products project, located at 875 N. Lagoon Drive (1.86 acres). (S-11-22)**

**Gibson** presented this agenda item. This is similar to the last agenda item and also a neighboring property. The subject property is part of an existing subdivision and has previously been zoned to the CMU district following the City's general plan designation. The building would house the Complete Natural Products offices with office in the front and storage in the back. Staff have begun some precursory review in initial discussions with the applicant. However, there are some elements of the proposed plan that require flexibility from typical standards of the CMU zone that can be considered through the PUD review process. Should the Planning Commission and Council find the required flexibility acceptable, the complete design and plan review will be completed.

The first item requiring flexibility from the standards of 11-19-060 is the positioning of the building. In September of 2021, the City modified the front yard setback standard, in effect requiring that there be no parking between the building and the street. As proposed, the project includes parking in this location between Lagoon Drive and the building. It is the opinion of Staff that this is appropriate in this situation based on the surrounding development. Mostly due to the site distance, this provides for traffic, as this development is on a curve/corner. Because of the bend, the traffic engineer has some site line concerns.

Second, the building includes a flat roof style design, which is in conflict with 11-19-070 A(4) and states: "Unless mechanically impractical, flat roofs are prohibited within the zone. When located on a roof, mechanical equipment shall be screened by roof components, parapets, cornices or other architectural features." It is the feeling of Staff that the architecture proposed is in line with surrounding development and the other applicable design standards that a flat roof construction would be appropriate. Staff feels the PUD process allows for flexibility in design, and the City could get something better. If this goes forward as a conditional use under the Planned Center Development, Staff is looking at provisions for a flat roof. Managing parking is another procedural question. Should the zoning text be amended to allow that? Staff is looking for direction on the position of the building as well as the flat roof, and compliance with design standards of the CMU zone.

Applicant **Benjamin Poole** (2716 S. 1000 E., Salt Lake City, Utah) addressed the Commission. He owns Complete Natural Products with his parents. Regarding parking, the offices and retail are up front. He doesn't know of a business that asks clients to come in through the back door. A full warehouse will be in the back side of the building with trucks and forklifts. This is not a good situation for customers to come through. Customers may park on the street to get to the front offices. This business does not have a lot of customers that would be physically coming in, as most business is conducted online. Having parking in the front motivates the

applicant to have a better looking building in the front. Handicapped parking spaces may have issues due to the elevation issues from the road to the backside. Delivery access is a big deal, as is potential theft and damage to cars left on the back side of the building. There is a garage for a full semi on the side. The back corner is curved so the semi can drive around the whole parking lot instead of backing in. This is important in a residential neighborhood. The garage on the west side is for postal service and UPS deliveries. The business has outgrown its current Centerville location. This is the only retail, office, and manufacturing location. The five parallel parking spots on the south end are not perpendicular in order to allow the semi to have the appropriate turning radius.

**Rulon Homer** opened and closed the Public Hearing at 8:15 PM due to no comments.

**Christensen** said she is not in favor of using the PUD to make things work the way the applicant wants as far as the building layout. She wishes an alternate path be used instead. The conditional use process may not allow deviation from the underlying standards as far as the building setbacks.

**Gibson** said the zoning on the east side of the road is a Residential (R) designation. He is trying to figure out a solution to the parking situation. The conditional use process has minimum standards, would require additional standards if necessary, and would not eliminate the minimum standards. If there is a proven hardship, a hearing officer could find in favor of that, but it would be tricky. The solution may not be a zone text change, which could open Pandora's box. In September of 2021, there was a change in the CMU zone that forced buildings closer to the street.

**Petersen** said the zone text change that happened a few months ago involved the 2018 East Park Lane Master Plan, which calls for businesses along Park Lane to be brought to the street to make the streetscape look better. Nationally, the trend is to hide parking by tucking it to the side and back of buildings. However, clear view triangles must be maintained for public safety reasons.

**Christensen** asked if the Commission likes the proposed layout, or if the applicant should be encouraged to comply with the standard as-is. **Gibson** said Staff is concerned with the site line issue, and so the proposed layout is a good one that may need only minor tweaks. There has not been a full site plan review on this application yet. It is a good use of the property that fits in with the street. **Petersen** said the City Engineer says there is no other way to get the semi wrapped around the building. These are unique circumstances that may need special consideration. **Christensen** said having Staff looking at an exception due to public safety is the best idea.

## **MOTION**

**Erin Christensen** made a motion that Planning Commission continue this application to a future meeting with direction to the applicant and Staff to revise the application under the Planned Commercial Development standards and conditional use practice, to specifically look at the standards in the CMU zone to make sure that it meets those standards, and for Staff also to take a look at amending or revising the ordinance such that the City could make an exception to the set back of the building for public safety needs.

**Tyler Turner** seconded the motion, which was unanimously approved.

### **Item #10 H Group Burke LLC (Public Hearing) – Applicant is requesting a recommendation for a Schematic Subdivision, PMP/DA (Project Master Plan/Development Agreement), and approval of a Schematic Site Plan for the proposed Burke Lane project, located at approximately 1500 Burke Lane (2.02 acres). (S-10-22, PMP-1-22, SP-5-22)**

City Planner/GIS Specialist **Shannon Hansell** presented this item to the Commission. This is on Burke Lane and 1525 West, formally known as the Romney project. This project proposes 20 townhome units and 33 apartment units, 6 retail/office areas, and 7,500 sq. ft. of office. The site plan shows a continuation of the "greenway concept," an active transportation corridor beginning further north at Spring Creek and culminating at the City's future 14-acre park. Previous iterations of the project were found by the Planning Commission to have insufficient parking and insufficient commercial/office use. Considering that the total project area is just over two acres, coupled with market demand, the developer has increased the commercial/office space, and provided the townhome units with four parking spaces each. The live-work apartment units along Burke Lane feature shared spaces with the commercial building on the corner of 1400 West and Burke Lane. There is sufficient parking spaces for the townhomes with four spaces each: two car garages and two spaces in the driveway. There is also parking under the apartment units, designed with 79 total stalls. The

main difference between this and previous iterations of the project is the building on the corner of 1400 West and Burke Lane. It is all commercial.

[Note: Owners of land involving at least 25 acres in the mixed-use zones identified in Chapter 18 of the Zoning Ordinance may elect to use the alternative approval process set forth in Section 11-18-140, but the applicant's site does not meet this threshold. However, the property, now owned by H Group Burke LLC, entered into an agreement (including a "global" PMP) with the City on June 9, 2020, (PMP-3-20) which allows the City to consider applications through Section 11-18-140 for property less than the 25 acres in size.]

Applicant **Phil Holland** (1082 W. Dutch Lane, Kaysville, Utah) said this began a couple of years ago and has now been through seven different plans considering uses, parking, etc. For 1.5 years, the Commission gave comments to the developer, whom **Holland** eventually bought the land from. **Holland** is both a residential and commercial developer. A commercial anchor building on the edge leads out this project, which feels like it is still in a rural area. This proposal has a perfect mixture of uses on 2 acres. He has done mixed use in the City in 2012, which he learned from. This site plan has subtle differences from the 2012 project, with space that actually functions as work space. It can be completely closed off so the residential and commercial spaces don't have to share a bathroom. There are six homes/offices on the main level. In 10 years, this may be fully commercial. The front façade of the building has the identity that the bottom level could be fully commercial. There is a major housing demand now, but in 10 years that may not be the case. That area could fully transition into commercial. He has worked with the developer of the land surrounding this site, and it fits in perfectly including road and greenway continuations. Commercial and residential will be constructed at the same time. The two outbuildings in the parking area behind the apartments include a stair well, elevator, or mechanical area.

The townhomes may be for rent or for sale; he is not sure yet. It is hard to commit to either this early in the process. It depends on what is being introduced in surrounding projects, as well as market wide. There is plenty of demand for ownership. The townhomes units are platted individually, so ownership is a possibility. Based on Farmington requirements, this project is parked perfectly and adequately, including on-street parking on 1400 West and Burke Lane. He wanted to make sure there is 18 feet of driveway parking space. There is adequate parking for the apartments when considering the parking for the commercial space will become available after 5 p.m.

**John David Mortensen** said he appreciates the effort to put commercial in, and he wants it put in at the same time as the residential, not afterward. He asked if the northeast commercial could be converted into residential in the future. **Hansell** said this is a PMP, which has a Development Agreement (DA). The City could incorporate the requirement to stay commercial in that DA. **Holland** said he is committed to keeping that corner building commercial. **Petersen** said a deed restriction may be in order, or platting that portion as nonresidential, although a future Council could unwind that decision.

**Holland** said the actual apartment count is 33 apartment units. He is negotiable about making pedestrian pathways 10 feet wide, or 6 feet wide with more landscaping. He wants it to match uses to the north. **Hansell** said the DA is not available for consideration tonight, so the PMP and DA need to be tabled. However, the Commission can send schematic site plan and site schematic subdivision on to the City Council. These are the conceptual layouts. The greenway will cross Burke Lane, and will be similar to the crossing of the Denver Rio Grande Western Rail Trail at Park Lane, with lights and a crosswalk. **Christensen** doesn't want to decrease the width of the greenway as it continues from one development to another.

**Rulon Homer** opened the Public Hearing at 9:06 PM.

**Mike Williamson** (9071 S. 1300 W., West Jordan, Utah) representing FSC Development, which surrounds the proposed site, addressed the Commission. He is in support of this project and feels it complements the area well.

**Rulon Homer** closed the Public Hearing at 9:06 PM.

#### **MOTION:**

**John David Mortensen** made a motion that the Planning Commission recommend the City Council approve the schematic subdivision plan and schematic site plan for the Burke Lane Project, subject to all applicable Farmington City development standards and ordinances, and all Development Review Committee (DRC) comments, with the condition that Staff work with the applicant to finalize the greenway concept so that it is consistent in width and continuity with the rest of the greenway in surrounding developments.

He also made a motion that the Planning Commission table the PMP and DA for the Burke Lane Project, subject to all applicable Farmington City development standards and ordinances, and all DRC comments, with the condition that the commercial space be guaranteed to be developed as commercial space through a DA or other mechanism like a formal plat.

Findings for Approval 1-4:

1. There is sufficient parking for both the retail and commercial aspects of the project.
2. The project continues the “greenway concept” connecting the future mixed-use office elements, to the City’s proposed park.
3. The project is consistent with other proposals for the Mixed-Use district.
4. The developer has agreed to place half of 1400 West, an important connection to the surrounding Farmington Station Center Townhomes Mixed Use project.

**Larry Steinhorst** seconded the motion, which was unanimously approved.

**OTHER BUSINESS**

Item #11 Miscellaneous, correspondence, etc.

- a. City Council Report from May 3, 2022.

**Gibson** presented this item. The Council approved the rezone of 2 acres of RDA property in tandem with the FSC project. They rezoned all of it, including the triangle piece on the other side of the road. The request to rezone 1100 West and Clark Lane, including a drive-thru, took a significant amount of time at the City Council meeting. The Council had concerns about the internal traffic pattern, and asked the applicant to return with a traffic study. The item was tabled until the traffic study is presented. The Council also approved the creation of an additional lot for the Steed Creek Estates project.

- b. Zone Text modification for Chapter 11-10 (temporary lot coverage) discussion.

**Gibson** presented this item. Staff wanted the Commission’s direction before it goes on to a public hearing. This is about putting a bubble over some future tennis courts. At the last meeting, the Commission stated that it may be appropriate to do the bubble, but it didn’t make sense to rezone land in the middle of an agricultural area to commercial. Currently anywhere in the agricultural zone there is 25% lot coverage maximum for buildings. It is currently permitted to build outdoor tennis courts. However, if the bubble were put over those courts, that 25% lot coverage would be exceeded, this coverage is applicable whether the bubble is a temporary or permanent structure. The language drafted by Staff says if it is up less than 180 days per year, they would be allowed to exceed that coverage by special exception considered by the Commission. Temporary buildings usually are construction and sales trailers, or a snow cone shack. This zone text modification would impact the entire agricultural zone, so must be considered carefully. The applicant has said the bubble would be up for the winter time. He would like to be able to operate year-round.

**Sam Barlow** said the neighbors seemed opposed to it for traffic reasons. He asked what will be across the street to the south.

**Petersen** said the Utah Division of Wildlife Resources (DWR) has committed this will be open space. Some Commission members would like to consider that the bubble be up only 90 days instead of 180 days. **Gibson** said he reached out to the athletic club in South Ogden that uses bubbles, and they leave them up year-round, as it is too costly and labor intensive to bring them down and put them back up. This would be considered a commercial recreation use, and therefore would be allowed anywhere commercial recreation is. **Gibson** said height is not an issue with this structure. **Petersen** said heating coils in the courts could help with snow control. It may be worth asking the assessor if a bubble would increase the tax value of the land.

**Tyler Turner** said he did not want a bubble up over 90 days. **Sam Barlow** said he would not approve a temporary use, and would rather make it permanent so the City can benefit from it tax-wise. **Ryan Bentley** said it would be an enforcement issue with a temporary structure. **Rulon Homer** is in favor of the bubble. **Erin Christensen** said enforcement will be an issue, and she would rather not have a temporary bubble beyond 90 days, and 180 days seems like too long for a temporary structure. **Larry Steinhorst** wants to follow the underlying zone and adhere to the 25% building coverage. At this point, he would rather have a permanent structure over the tennis courts, but the underlying zone would not allow that. In that case, it would be a “no” vote from him. That results in three “no” votes and two votes for the temporary structure to be 90 days or less and 1 yes vote.

c. The Preserve sidewalk.

**Gibson** reported on the subdivision at Main Street and 600 North. The Homeowner's Association (HOA) came to Staff to discuss the sidewalk in this area. It affects a private street with 10 homes. On the southeast side of the subdivision, there is a small open space with large trees and a detention area. The HOA wants to keep the trees, and installing sidewalk on that stretch could endanger those trees. Staff thinks it is fine to not have a sidewalk there, and just wanted to inform the Commission. It is not a usable section of sidewalk anyway. Their site plan was approved with sidewalks, but the HOA wants to change it in this area. Commissioners said they are fine with Staff's decision.

**ADJOURNMENT**

Larry Steinhorst made a motion to adjourn at 9:39 PM.

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Rulon Homer, Chairman



## Planning Commission Staff Report May 19, 2022

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### Item 2: Burke Lane Project – Development Agreement

Public Hearing:	Yes
Application No.:	S-10-22, PMP-1-22,
Property Address:	Approximately 1500 Burke Lane
General Plan Designation:	TMU (Transit Mixed Use)
Zoning Designation:	OMU (Office Mixed Use)
Area:	2.02 Acres
Number of Lots:	-
Property Owner:	H Group Burke LLC
Agent:	Phil Holland

Request: *Applicant is requesting a recommendation for Development Agreement approval for the Burke Lane Project Master Plan.*

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#### **Background Information**

This project proposes 20 townhome units and 29 apartment units, as well as 10 retail/office areas. The site plan shows a continuation of the “greenway concept”, an active transportation corridor beginning further north at Spring Creek and culminating at the City’s future 14 acre park. Previous iterations of the project were found by the Planning Commission to have insufficient parking and insufficient commercial/office use. Considering that the total project area is just over two acres, coupled with market demand, the developer has increased the commercial/office space, and provided the townhome units with four parking spaces each. The live-work apartment units feature shared spaces with the commercial building on the corner of 1400 West and Burke Lane.

[Note: Owners of land involving at least 25 acres in the mixed-use zones identified in Chapter 18 of the Zoning Ordinance may elect to use the alternative approval process set forth in Section 11-18-140, but the applicant’s site does not meet this threshold. However, the property, now owned by H Group Burke LLC, entered into an agreement (including an accompanying “global” PMP) with the City on June 9, 2020, (PMP-3-20) which allows the City to consider applications through Section 11-18-140 for property less than the 25 acres in size].

The Planning Commission previously recommended approval of the schematic subdivision plan and Project Master Plan for the project on May 5, 2022, but the development agreement, though noticed

on the agenda, was inadvertently not included as part of the staff report. It is presented now for Planning Commission consideration.

**Suggested Motion**

Move that the Planning Commission recommend the City Council approve the Burke Lane Project Development Agreement, subject to all applicable Farmington City development standards and ordinances, and all Development Review Committee (DRC) comments, and any conditions of preliminary and final review.

**Findings:**

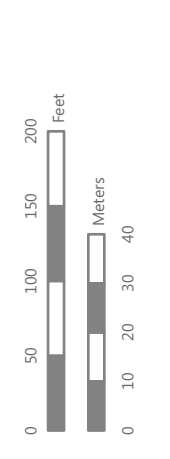
1. There is sufficient parking for both the retail and commercial aspects of the project.
2. The project continues the “greenway concept” connecting the future mixed use office elements, to the City’s proposed park.
3. The project contains a commercial only concept, as well as live-work units fronting Burke Lane.
4. The project is consistent with other proposals for the Mixed Use district.
5. The developer has agreed to place half of 1400 West, an important connection to the surrounding Farmington Station Center Townhomes Mixed Use project.

**Supplemental Information**

1. Vicinity Map
2. Draft Development Agreement
3. Schematic Subdivision Plan
4. PMP, including building elevation



Disclaimer: This map was produced by Farmington City GIS and is for reference only. The information contained on this map is not intended to be used for legal purposes. Farmington City makes no warranty as to the accuracy of the information contained for any other purposes.



# VICINITY MAP

## 1451 West Burke Lane





**DRAFT**

**A SUPPLEMENTAL  
DEVELOPMENT AGREEMENT  
FOR**

**BURKE LANE MIXED USE PROJECT**

**THIS DEVELOPMENT AGREEMENT** (this “Agreement”) is made and entered into as of the \_\_\_\_ day of \_\_\_\_\_ 2022 by and between **FARMINGTON CITY**, a Utah municipal corporation, hereinafter referred to as the “City,” and H Group Burke LLC, a Utah Limited Liability Company, hereinafter referred to, collectively with its assignees, as “Developer.”

**RECITALS:**

A. Farmington City and the previous owner of the Property, on June 9, 2020, entered into a Development Agreement for Farmington Station Center (the “Original Agreement”) which provided a general outline for the development of approximately 29 acres of land owned or controlled by the previous owner of the Property and other parties.

B. H Group Burke LLC is the successor in interest to previous owner of the Property on approximately 2.0 acres of land, (the “Property”), which Property is more particularly described in Exhibit A, attached hereto and incorporated herein by reference, and which comprises a part of the 29 acres of property governed by the Original Agreement.

C. The Property is subject to the City’s laws, including without limitation, Section 11-18-140 of the City’s Zoning Ordinance, pursuant to which this Agreement may be utilized to commit the understanding of the parties relating to development of the property.

D. On \_\_\_\_\_, 2022, concurrent with the approval of this Agreement, the City approved a Project Master Plan (the “PMP”) for the Property in accordance with Chapter 18 of the City’s Zoning Ordinance. The approved PMP is attached hereto as Exhibit B and incorporated herein by reference. The purposes of the PMP include, among other things, the establishment of uses and minimum building heights applicable to the respective areas of the property, as set forth in the PMP.

E. The parties recognize that the development of the property, and the North Farmington Station Project, may result in tangible benefits to the City through the stimulation of development in the area, including the development of amenities that may enhance the general welfare of citizens and property owners in the vicinity of the Property and is therefore willing to enter into this agreement subject to the terms and conditions set forth herein.

## AGREEMENT

NOW, THEREFORE, in consideration of the mutual covenants contained herein and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the City and Developer hereby agree as follows:

1. **Incorporation of Recitals.** The above Recitals are hereby incorporated into this Agreement.

2. **Uses of the Property.** The uses of the Property and the respective areas of the Property designated for each such use shall be as set for the in the PMP. Specific development standards and processing shall be as follows:

a. Notwithstanding provisions of the City's Zoning Ordinance, and as specifically permitted pursuant to Section 11-18-140 of the Farmington City Municipal Code, residential uses will be allowed strictly as shown on the PMP.

b. A portion of the townhomes will front pedestrian walkways as shown on the PMP.

c. A portion of the townhomes will front the private roads as shown on the PMP.

d. Building elevations shall be consistent with the provisions of the PMP. Elevations shall generally incorporate high quality materials and finishes as shown in the PMP.

e. There will be no on street or additional parking requirements in addition to the driveways and garages associated with each residential dwelling unit, commercial space, and/or townhome. Additional guest parking may be added during the design development phase of each development plan review as set forth in Section 11-18-170 of the Farmington City Municipal Code and in consultation with the City.

f. Street widths and layout will generally conform to the attached PMP. Exceptions to widths and/or layout may be made where adjustments are required by the City's Fire Marshall.

g. Side treatments for public rights of way may deviate from the standard of the underlying zone as shown within the PMP.

3. **Assignment.** Developer shall not assign this Agreement or any rights or interests herein without giving prior written notice to the City. Any future assignee shall consent in writing to be bound by the terms of this Agreement as a condition precedent to the assignment.

4. **Notices.** Any notices, requests and demands required or desired to be given hereunder shall be in writing and shall be served personally upon the party for whom intended, or if mailed, by certified mail, return receipt requested, postage prepaid, to such party at its address shown below:

To Developer: H Group Burke LLC  
Attn: Phil Holland  
1082 West Dutch Lane  
Kaysville, Utah 84037

To the City: Farmington City  
Attn: City Manager  
160 South Main Street  
Farmington, Utah 84025-0160

5. **Entire Agreement.** This Agreement together with the Exhibits attached thereto and the documents referenced herein, and all regulatory approvals given by the City for the Property, contain the entire agreement of the parties and supersede any prior promises, representations, warranties or understandings between the parties with respect to the subject matter hereof which are not contained in this Agreement and the regulatory approvals for the Property, including any related conditions.

6. **Construction.** Words in any gender are deemed to include the other genders. The singular is deemed to include the plural and vice versa, as the context may require. The headings contained in this Agreement are intended for convenience only and are in no way to be used to construe or limit the text herein. Use of the word “including” shall mean “including but not limited to”, “including without limitation”, or words of similar import.

7. **Non-Liability of City Officials, Employees and Others.** No officer, representative, agent, or employee of the City shall be personally liable to Developer, or any successor-in-interest or assignee of Developer in the event of any default or breach by the City or for any amount which may become due Developer, or its successors or assigns, for any obligation arising under the terms of this Agreement, unless it is established that the officer, representative, agent or employee acted or failed to act due to fraud or malice.

8. **No Third-Party Rights.** The obligations of Developer set forth herein shall not create any rights in and/or obligations to any persons or parties other than the City. The parties hereto alone shall be entitled to enforce or waive any provisions of this Agreement.

9. **Recordation.** This Agreement shall be recorded by the City against the Property in the office of the Davis County Recorder, State of Utah.

10. **Relationship.** Nothing in this Agreement shall be construed to create any partnership, joint venture or fiduciary relationship between the parties hereto.

11. **Termination.** Notwithstanding the foregoing, if Developer has not commenced development activities on the Property within five (5) years of the date of this Agreement, the City may request Developer to provide the City with reasonable plans and assurances that Developer will develop the Property in accordance with this Agreement. In such event, Developer shall have 120 days after receiving such request from the City to provide the City with such information. If Developer fails to respond to such request within such time period, or responds within such time

period with plans and assurances that are unacceptable to the City in the City's reasonable discretion, the City may terminate this Agreement by giving written notice to Developer within sixty (60) days following the termination of the 120-day response period described above.

12. **Severability.** If any portion of this Agreement is held to be unenforceable or invalid for any reason by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect.

13. **Amendment.** This Agreement may be amended only in writing signed by the parties hereto.

**IN WITNESS WHEREOF**, the parties hereto have executed this Agreement by and through their respective, duly authorized representatives as of the day and year first hereinabove written.

**“CITY”**

**FARMINGTON CITY**

ATTEST:

\_\_\_\_\_  
City Recorder

By: \_\_\_\_\_  
Mayor

**“DEVELOPER”**

Phil Holland

By: \_\_\_\_\_  
Managing Member

**CITY ACKNOWLEDGMENT**

STATE OF UTAH            )  
                                      :ss.  
COUNTY OF DAVIS        )

On the \_\_\_\_\_ day of \_\_\_\_\_, 2022, personally appeared before me Brett Anderson, who being duly sworn, did say that he is the Mayor of **FARMINGTON CITY**, a municipal corporation of the State of Utah, and that the foregoing instrument was signed in behalf of the City by authority of its governing body and said Brett Anderson acknowledged to me that the City executed the same.

\_\_\_\_\_  
Notary Public

**DEVELOPER ACKNOWLEDGMENT**

STATE OF UTAH    )  
                          :SS.  
COUNTY OF DAVIS    )

On the \_\_\_\_\_ day of \_\_\_\_\_, 2022, personally appeared before me Phil Holland, who being by me duly sworn did say that he is a manager of H Group Burke LLC, and that the foregoing instrument was signed in behalf of said limited liability company by virtue of the authority granted to such manager under the operating agreement of said limited liability company, and he acknowledged to me that said limited liability company executed the same.

\_\_\_\_\_  
Notary Public

**ATTACHED EXHIBITS:**

EXHIBIT “A” – LEGAL DESCRIPTION OF THE PROPERTY  
EXHIBIT “B” – PMP (PROJECT MASTER PLAN)



**BENCHMARK**  
 SOUTH QUARTER CORNER OF SECTION 14,  
 TOWNSHIP 3 NORTH, RANGE 1 WEST  
 SALT LAKE BASE AND MERIDIAN  
 ELEV = 4229.59'

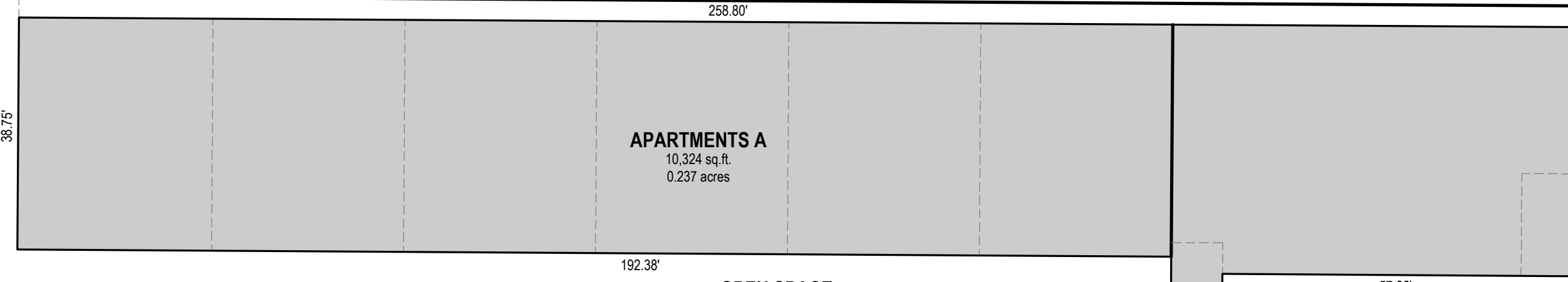
CENTER CORNER  
 SECTION 14  
 T3N, R1W  
 SLB&M  
 (NOT FOUND)

1195.41'

S 89°38'13" E 500.00'

**BURKE LANE (PUBLIC STREET)**

S 89°38'13" E 320.00'



FUTURE OFFICE DEVELOPMENT

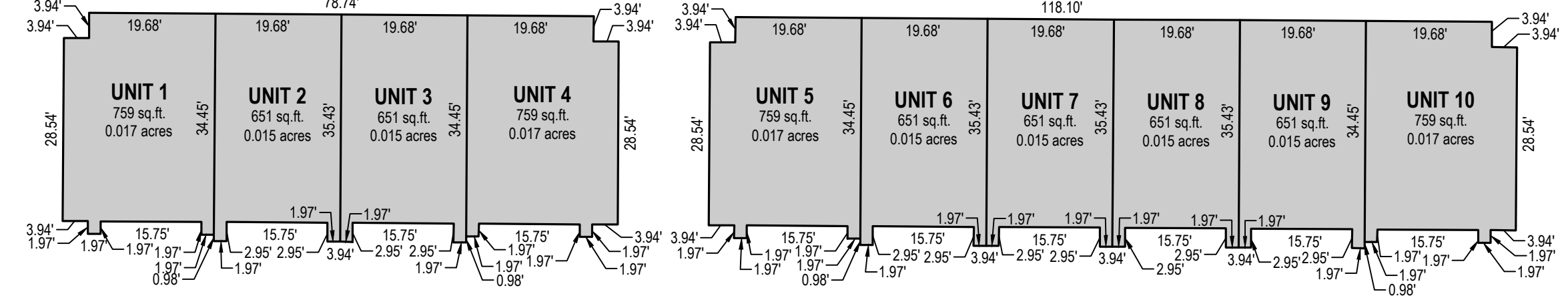
**PRIVATE STREET**

**PUBLIC STREET**

FUTURE OFFICE DEVELOPMENT

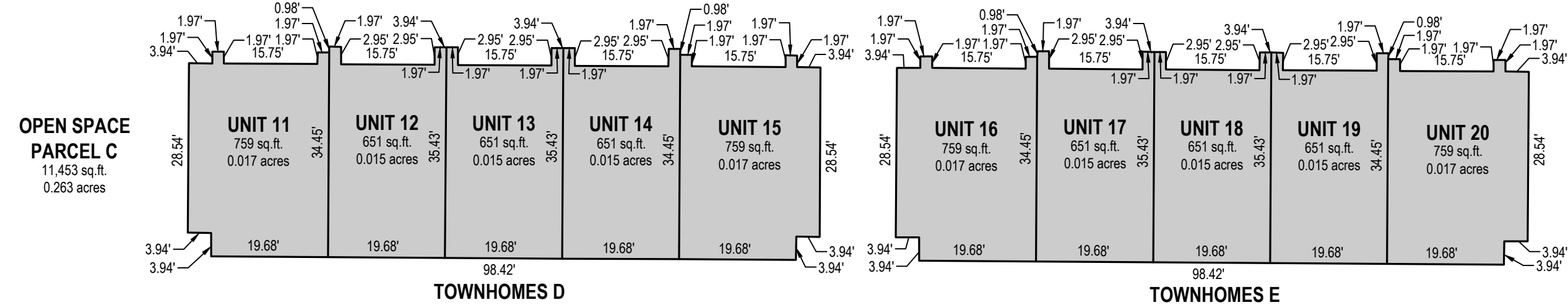
**TOWNHOMES B**

**TOWNHOMES C**



**ROAD DEDICATION**  
 7,740 sq. ft.  
 0.178 acres

**PRIVATE STREET**



**TOWNHOMES D**

**TOWNHOMES E**

N 89°38'13" W 320.00'

FUTURE MULTI-FAMILY DEVELOPMENT

SOUTH QUARTER CORNER  
 SECTION 14  
 T3N, R1W  
 SLB&M  
 (FOUND)  
 BM ELEV = 4229.59'

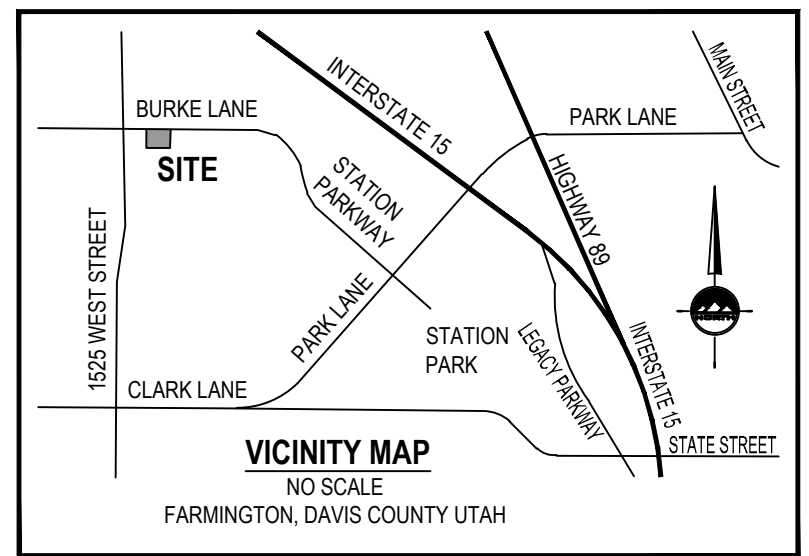
SOUTHEAST QUARTER CORNER  
 SECTION 14  
 T3N, R1W  
 SLB&M  
 (FOUND)

2641.2' (MEASURED)

N 0°21'47" E 2639.61' (RECORD)

N 0°21'47" E 257.99'

S 0°21'47" W 257.99'



LAYTON  
 919 North 400 West  
 Layton, UT 84041  
 Phone: 801.547.1100

SALT LAKE CITY  
 Phone: 801.255.0529

TOOELE  
 Phone: 435.843.3590

CEDAR CITY  
 Phone: 435.865.1453

RICHFIELD  
 Phone: 435.896.2983

[WWW.ENSIGNENG.COM](http://WWW.ENSIGNENG.COM)

FOR:  
 JUSTIN ATWATER

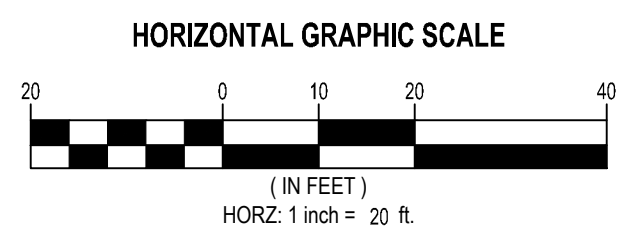
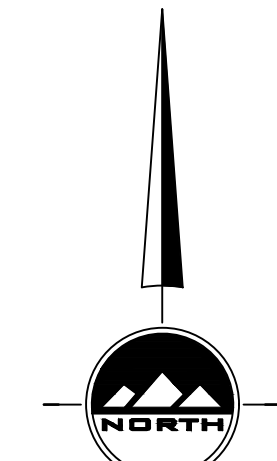
CONTACT:  
 PHONE: 801-913-0258

**ROMNEY FARMINGTON**  
**1451 WEST BURKE LANE**  
**FARMINGTON, UTAH 84025**

**SCHEMATIC PLAT**

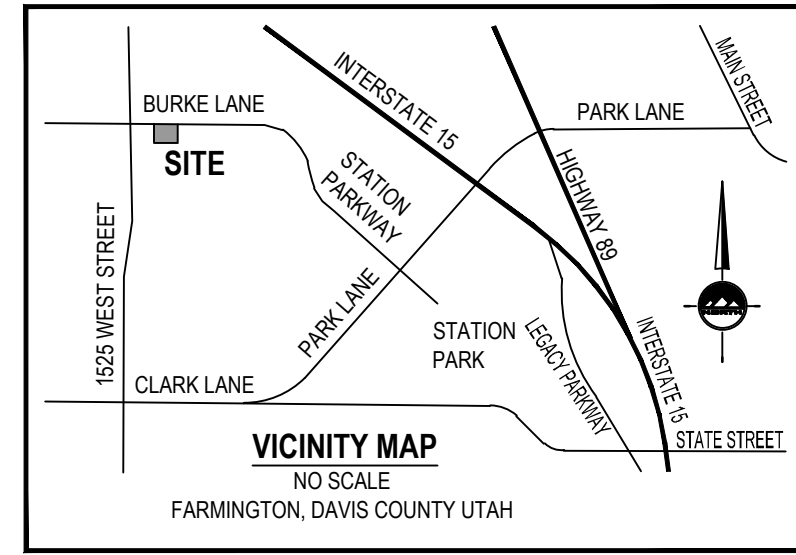
PROJECT NUMBER: 9964  
 PRINT DATE: 4/5/22  
 DRAWN BY: MELMER  
 CHECKED BY: C. PRESTON  
 PROJECT MANAGER: C. PRESTON

1 of 1





**BENCHMARK**  
 SOUTH QUARTER CORNER OF SECTION 14,  
 TOWNSHIP 3 NORTH, RANGE 1 WEST  
 SALT LAKE BASE AND MERIDIAN  
 ELEV = 4229.59'



LAYTON  
 919 North 400 West  
 Layton, UT 84041  
 Phone: 801.547.1100

SALT LAKE CITY  
 Phone: 801.255.0529

TOOELE  
 Phone: 435.843.3590

CEDAR CITY  
 Phone: 435.865.1453

RICHFIELD  
 Phone: 435.896.2983

[WWW.ENSIGNENG.COM](http://WWW.ENSIGNENG.COM)

FOR:  
 JUSTIN WATER  
 1170 GOLDSBUR LANE  
 FRUIT HEIGHTS, UTAH 84037

CONTRACT:  
 JustinWater@me.com  
 PHONE: 801-913-0258

LAND USE TABLE		
BUILDING SPACE	24,692 sq. ft.	33.0%
HARDSCAPE	32,645 sq. ft.	43.6%
LANDSCAPE	17,480 sq. ft.	23.4%
TOTAL SITE AREA	74,817 sq. ft.	100%
TOWNHOME UNITS	20	
APARTMENT UNITS	39	
TOTAL UNITS	59	
DENSITY	34.35 UNITS/ACRE	

**MASTER PLAN SUBMITTAL**

- Land use concepts  
 The land use consists of 39 apartment units, 20 townhome unit, and 10 future retail areas, resulting in 69 total units.
  - The parking concept includes commercial parking adjacent to buildings with the required number for each type and at least two parking spaces for each residential unit.
    - Standard Parking Stalls: 57
    - Handicap Access Stalls: 2
    - Garages: 20
    - Total Stalls: 79
  - Private open space will be incorporated into the development with common areas and a playground. The development will have two private roads that will connect to adjacent and future roads.
  - The proposed development area being considered with this PMP is approximately 1.718 acres.
- Transportation Narrative  
 The site has been planned adjacent to Farmington City's master plan infrastructure road, Burke Lane. The proposed development will construct a stub road to Burke Lane on the east. This will run to the south for future development.
- Major stormwater drainage management  
 Stormwater for the site will be managed in a detention/retention basin located on site. Stormwater treatment will be implemented prior to water discharging into these areas. The 80th percentile storm will be retained on site as is required.
  - See Preliminary Grading Plan 2 of 3 for additional storm water narration.
- Utility Concerns  
 Preliminary water and sewer systems are shown on subsequent exhibits.
- PMP adjacent land compatibility  
 The area surrounding this site is also mixed use.
- Sequence and timing  
 At this time, the residential apartments and townhomes are being planned for immediate construction pending approval. The configuration of the eastern access will consist of roadway construction that connects to Burke Lane and will match alignment of the existing intersection stub, per design of City's consultant.
- Existing structures and future development  
 Existing utilities are identified, the property is bounded by land parcels to the north, south, east and west. Future development is expected to connect to the south, west and east.

**BURKE LANE MIXED USE**  
**PMP**  
**1451 WEST BURKE LANE**  
**FARMINGTON, UTAH 84025**



NO.	DATE	REVISION	BY
1	3/11/21	FOR REVIEW	MCE
2			
3			
4			
5			
6			
7			
8			

**SCHEMATIC**  
**SITE PLAN**

PROJECT NUMBER: 9964  
 PRINT DATE: 4/5/22

DRAWN BY: MELMER  
 CHECKED BY: C. PRESTON

PROJECT MANAGER:  
 C. PRESTON

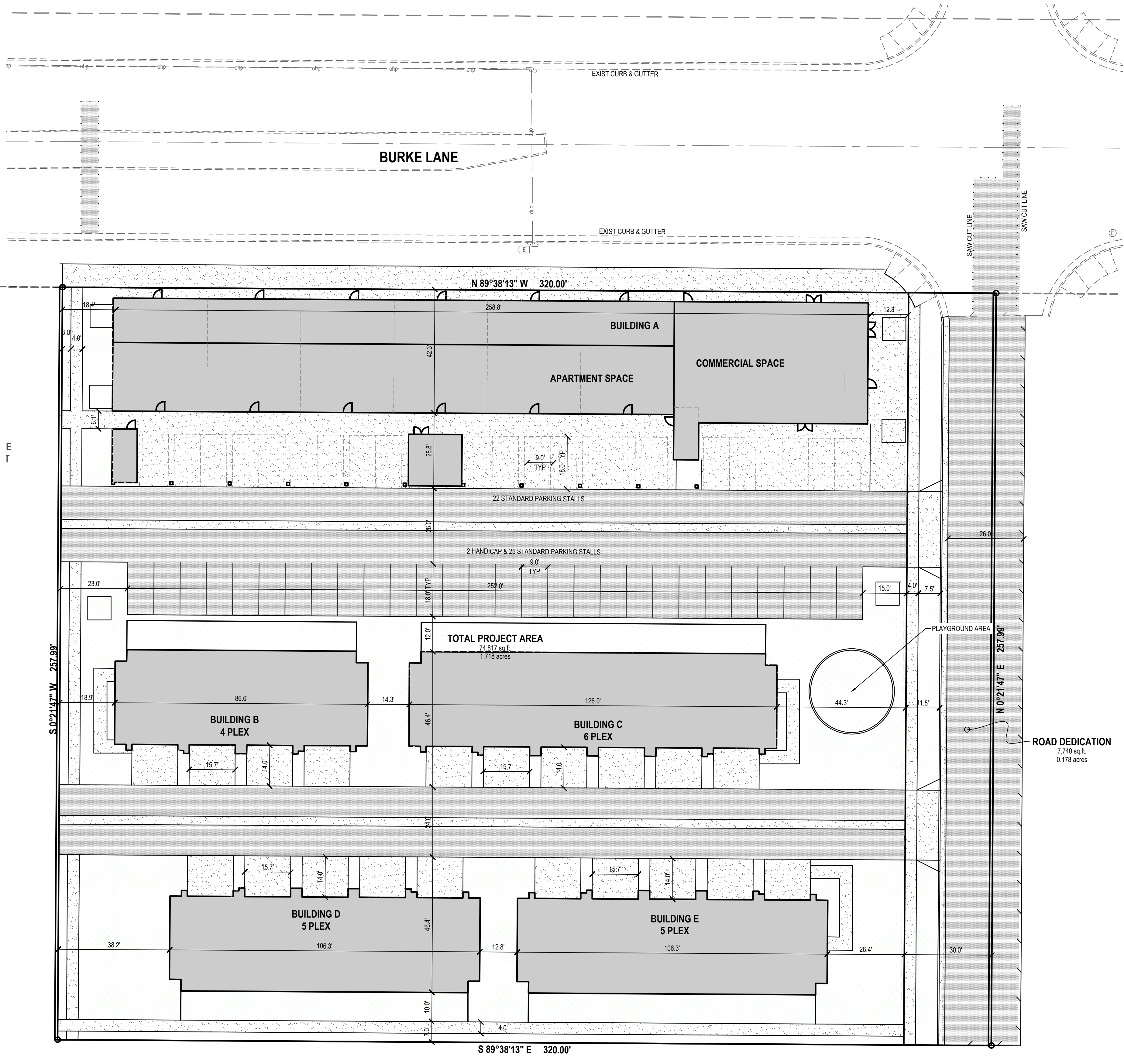
**1 OF 3**

CENTER CORNER  
 SECTION 14  
 T3N, R1W  
 SLB&M  
 (NOT FOUND)

1196.41'

S 89°38'13" E 500.00'

- LEGEND**
- ◆ SECTION CORNER
  - ⊕ EXISTING MONUMENT
  - EXISTING REBAR AND CAP
  - SET ENSIGN REBAR AND CAP
  - WATER METER
  - WATER VALVE
  - ⊕ EXISTING FIRE HYDRANT
  - ⊕ PROPOSED FIRE HYDRANT
  - SANITARY SEWER MANHOLE
  - ⊕ STORM DRAIN CLEAN OUT BOX
  - ⊕ STORM DRAIN CATCH BASIN
  - ⊕ STORM DRAIN COMBO BOX
  - ⊕ ELECTRICAL MANHOLE
  - ⊕ ELECTRICAL BOX
  - UTILITY POLE
  - ⊕ EXISTING LIGHT
  - ⊕ PROPOSED LIGHT
  - ⊕ GAS METER
  - ⊕ GAS MANHOLE
  - ⊕ GAS VALVE
  - ⊕ TELEPHONE MANHOLE
  - ⊕ TELEPHONE BOX
  - ⊕ SIGN
  - EXISTING EDGE OF ASPHALT
  - PROPOSED EDGE OF ASPHALT
  - sd --- EXISTING STORM DRAIN LINE
  - SD --- PROPOSED STORM DRAIN LINE
  - ss --- EXISTING SANITARY SEWER
  - SS --- PROPOSED SANITARY SEWER LINE
  - ld --- EXISTING LAND DRAIN LINE
  - LD --- PROPOSED LAND DRAIN LINE
  - w --- EXISTING CULINARY WATER LINE
  - W --- PROPOSED CULINARY WATER LINE
  - ohp --- EXISTING OVERHEAD POWER LINE
  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - BUILDABLE AREA WITHIN SETBACKS
  - EXISTING CONCRETE
  - PROPOSED CONCRETE
  - EXISTING BUILDING
  - PROPOSED BUILDING

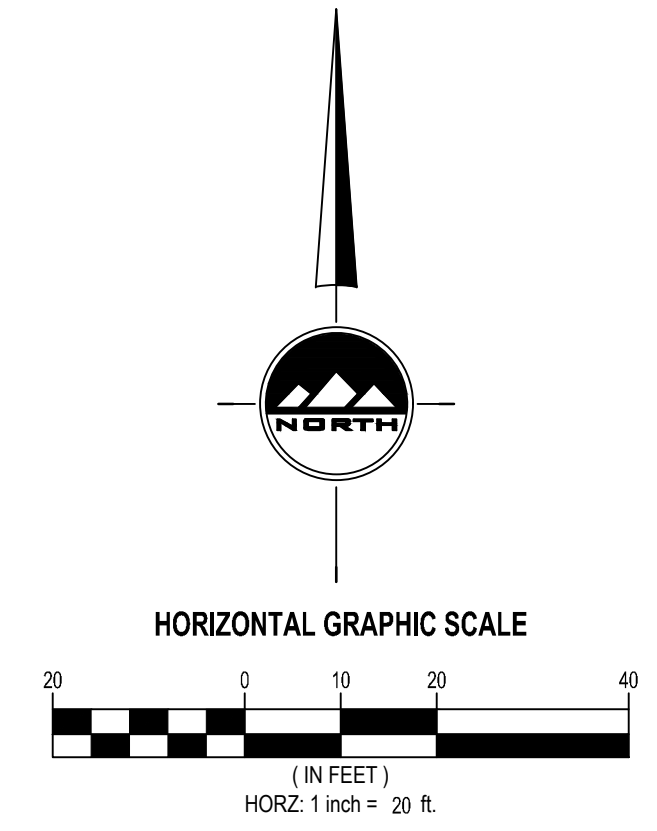


SOUTH QUARTER CORNER  
 SECTION 14  
 T3N, R1W  
 SLB&M  
 (FOUND)  
 BM ELEV = 4229.59'

FUTURE MULTI-FAMILY  
 DEVELOPMENT

BASIS OF BEARINGS N 89°45'49" E 2641.16' (REC) 2641.2' (MEASURED)

SOUTHEAST QUARTER CORNER  
 SECTION 14  
 T3N, R1W  
 SLB&M  
 (FOUND)





tenant

tenant

B  
U  
R  
K

anchor

**ONYX**  
DESIGN  
COLLECTIVE





**ONYX**  
DESIGN  
COLLECTIVE



**ONYX**  
DESIGN  
COLLECTIVE



**ONYX**  
DESIGN  
COLLECTIVE



**ONYX**  
DESIGN  
COLLECTIVE



**ONYX**  
DESIGN  
COLLECTIVE



**ONYX**  
DESIGN  
COLLECTIVE





## Planning Commission Staff Report May 19, 2022

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### **Item 3: Zone Text Amendment—changes to Chapter 11-10 Agricultural Zones, to allow for additional lot coverage for buildings or structures which are on site not more than 180 days a year.**

Public Hearing: Yes  
Application No.: ZT-5-22  
Applicant: Farmington City

*Request: City Staff is requesting a recommendation to amend the Zoning Ordinance to allow for flexibility in locating parking and the ability to build flat roof architecture on commercial buildings..*

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#### **Background Information**

In April of this year the Planning Commission considered a rezone of a property on the southwest part of the city which would have permitted additional lot coverage on a property allowing for more buildings. The intent behind this request was to allow for a temporary cover over sports courts. The rezone was recommended for denial, but the Commission asked that staff look at other methods for accommodating the structure other than a zone change.

There are 2 items that need to be addressed in order to accommodate the idea of putting a temporary cover over the courts in this scenario.

1. The owner can build additional outdoor courts, but additional lot coverage allowance in the Agricultural zones would be needed to allow them to be covered.
2. The existing language in the Agricultural zones only allows for temporary buildings in conjunction with construction.

In the opinion of staff, a variance does not seem the correct route to consider the proposal and the Commission does not currently have the ability to view this under a special exception. The proposed text amendment would grant the Planning Commission the ability to consider the desired structure through a special exception process.

In previous discussion with the Planning Commission regarding this idea, concerns were expressed with the length of time that is proposed. The idea of perhaps allowing something for up to 90 days was discussed with the owner of the property spurring the potential change. According to the property owner, if the city were only to allow something for 90 days that would be too onerous as it wouldn't allow for much time to use the building which requires a fair amount of time and resources



to put up and take down. The property owner hopes to be able to use such a structure up for 150 days a year and likes the 180 day language as it gives some flexibility and time to get things up and down. The ordinance has been noticed with the language allowing as much as 180 days of use. It is the opinion of staff that the Planning Commission can forward a recommendation to the council for less than 180 days if desired without the need to re-notice the item.

A zone text amendment such as is proposed would impact the example outlined in the report, but would be applicable to all areas regulated by the Agricultural zones of FCC Chapter 11-10. Considerations of the zone text amendment and its potential implications throughout the city should be taken into account.

Staff does not have much concern in the types of temporary structures that may be proposed if the restriction allowing only temporary buildings related to construction is lifted. The structure would still have to be part of an allowed use and the experience of staff is that construction trailers and sales trailers related to new subdivisions are about all that may be expected. Other examples of temporary buildings are snow cone shacks or similar structures that are commercial uses so would not be permitted in the Agricultural zones anyways.

Where there are some concerns from city staff it is related to the administration of the ordinance and need to monitor the timing of buildings and ensure regular permitting for their construction and removal.

### **Alternate Motions**

- A. Move that the Planning Commission make a recommendation to the City Council to approve the proposed zone text amendment allowing for more temporary building types and additional lot coverage for up to 180 days in the Agricultural zones.

### **Findings**

- 1. Allowing different temporary structures help facilitate desirable use of property in the agricultural zoning districts that is not currently permitted.
  - 2. The additional lot coverage for a temporary structure would permit a reasonable use of land that is fitting with the purpose of the Agricultural zoning districts.
- B. Move that the Planning Commission make a recommendation to the City Council to deny the proposed zone text amendment allowing for more temporary building types and additional lot coverage for up to 180 days in the Agricultural zones.

### **Findings**

- 1. The allowance of additional temporary structure types does not further facilitate the purpose of the Agricultural zoning district.
- 2. The additional lot coverage, even for a temporary structure does not promote the purpose of the Agricultural zoning districts.

## **Supplementary Information**

1. Draft Ordinance

## **Applicable Ordinances**

1. [11-10-010: Purpose](#)
2. 11-10-040: Density and Dimensional Standards
3. 11-10-060: Design Standards

### **11-10-040: LOT AND SETBACK STANDARDS:**

C. Lot Coverage: Not more than twenty five percent (25%) of the gross area of a lot shall be covered by the main building, accessory buildings or other structures in the A Zone and lots greater than 0.75 acre in size in the AE Zone, and not more than ten percent (10%) of the gross area of a lot for the AA Zone. On lots less than 0.75 acre in size, the lot coverage requirements for accessory buildings and structures set forth in chapter 11 of this title shall apply. Per section 11-3-045, the Planning Commission may consider a special exception to allow an additional 25% lot coverage for temporary buildings or structures which are in place no more than 180 days a year.

### **11-10-060: SITE DEVELOPMENT STANDARDS:**

C. Temporary Buildings: Unless approved in writing by the Zoning Administrator or Planning Commission as part of a listed permitted or Conditional Use which meets all other applicable standards such as height, setbacks, and lot coverage as though it were a permanent structure, Temporary buildings, or the temporary use of a building or yard, shall only be allowed in conjunction with a construction project. Temporary buildings used in conjunction with a construction project may be used only as an office or for storage of equipment or materials. The temporary building or use permitted in conjunction with a construction project shall be removed and/or terminated not less than thirty (30) days after final inspection of the construction project or one year after issuance of the building permit, whichever comes first.



## Planning Commission Staff Report May 19, 2022

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### Item #4: Zone Text Amendment—Amendments and additional text addressing porte-cochere and parking between the building and street for hotels in the Mixed Use Districts.

Public Hearing: Yes  
Application No.: ZT-6-22  
Applicant: Farmington City

*Request: Staff is proposing a zone text amendment that would accommodate a proposed hotel development in the OMU zoning district.*

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#### **Background Information**

The Planning Commission has a site plan review on this same meeting agenda for consideration for a new hotel use in the OMU zoning district. The use is allowed in the OMU zone as a permitted use per Section 11-18-050, Uses; however, the proposed site plan has 2 major conflicts with the text currently in the ordinance.

1. Drive up window/drop off lanes are allowed only with special exception review by the Planning Commission when listed is P<sup>1</sup> in the table of uses. The other uses that currently allow this in the OMU zone are ‘Financial Institutions’ and ‘Neighborhood Service Establishments (Low impact retail and personal service uses such as bakery, bookstore, dry cleaning, hairstyling, pharmacy, art supply/gallery, craft store, photocopy center, corner market (with no gas pumps).’

It is the feeling of city staff that a porte-cochere which is a very common element on a hotel would be acceptable and in fact desirable in the OMU zoning district. There is some potential for more than 1 hotel within this district over time and it would be anticipated that with any other hotel use the ability to provide this feature would be desired.

2. The Mixed Use Districts envision buildings that shape the street and require a build to range and placement of the building where it would be up against the street and in the case of a corner up against both streets.

The proposed text amendment would give the Planning Commission the ability to consider allowing parking between the building and the secondary street in the case of a hotel through review of a special exception.

#### **Suggested Motion**

Move that the Planning Commission forward a favorable recommendation of the proposed text amendment to the Farmington City Council.

#### **Findings**

1. The proposed text amendments will make hotel uses more feasible in the Mixed Use Districts.
2. The proposal allows for what is a virtual need in the hospitality industry of having a porte-cochere.
3. The recommended changes allow for case-by-case consideration in the placement of a building by the Planning Commission.

Applicable Ordinances:

Chapter 11-18: MIXED USE DISTRICTS

SECTION 11-18-060: BUILDING FORM AND SITE ENVELOPE STANDARDS

Draft Ordinance Amendment

11-18-050: USES:

TABLE 18.3  
ALLOWABLE LAND USES

Key to allowable uses:

P - Permitted

N - Not permitted

	Mixed Use Districts				
	OS	RMU	OMU	GMU	TMU
.....					
Lodging, limited to hotel, motel	N	N	P <sup>1</sup>	P	P
.....					

Restrictions:

1. Drive up window/drop off lane (including a porte-cochere) allowed only with special exception review by the Planning Commission as set forth in section [11-3-045](#) of this title, as to use only, and not fixed dimensional standards; however, in the case of a lodging, the planning commission may approve variations from the standards of 11-18-160 including permission to allow off-street parking between the building and a secondary street by review of a special exception. For any use not listed as P<sup>1</sup>, drive-up windows are expressly prohibited. No additional curb cut shall be added to accommodate the drive up/drop off lane.



## Planning Commission Staff Report May 19, 2022

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### **Item 5: Zone Text Amendment—changes to the Commercial Mixed Use (CMU) zoning district to allow for the consideration of off-street parking between a building and a street and to permit the consideration of flat roof architecture on new buildings.**

Public Hearing: Yes  
Application No.: ZT-5-22  
Applicant: Farmington City

*Request: City Staff is requesting a recommendation to amend the Zoning Ordinance to allow for flexibility in locating parking for safety purposes and the ability to build flat roof architecture on commercial buildings.*

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#### **Background Information**

Recently the Planning Commission reviewed 2 projects proposed within the CMU district where conflicts with 2 standards of the zoning district were identified.

The proposed zone text amendment would allow for commercial buildings to include flat roof architecture as many already do in the zoning district. Also, as when the applicant can demonstrate a traffic safety reason for allowing parking between the building and the street it may be permitted. The amendment would also give the Planning Commission flexibility in considering how close parking may be to the sidewalk by review of a special exception for a fixed dimension.

#### **Suggested Motion**

Move that the Planning Commission make a recommendation to the City Council to approve the proposed zone text amendment.

#### **Findings**

1. Flat roof architecture is very common and can be very tasteful on commercial developments. There are already several examples of this within the CMU district.
2. As all projects in the CMU zone are reviewed by the Planning Commission, staff believes that in the few instances where a traffic engineer may be able to demonstrate an issue with a

building close to the street, the proposed text will give the Planning Commission appropriate discretion for site design which will promote better development in the right circumstances.

3. Smaller sites and odd shaped properties may require parking closer to sidewalk in order to provide adequate off street parking. Allowing for this consideration through the Special Exception process will allow for the ability to approve better design and reduce lack of parking issues when demonstrated as necessary.

### **Supplementary Information**

1. Draft Ordinance

### **Applicable Ordinances**

1. 11-19-060: Density and Dimensional Standards
2. 11-19-070: Design Standards

### **11-19-060: DENSITY AND DIMENSIONAL STANDARDS:**

A. Residential Development: Single-family dwelling residential development is not allowed in the CMU zone. Residential development must be at a minimum density of five (5) units per acre, but shall not exceed fourteen (14) units per acre, and should complement and support the primary commercial uses in the CMU zone district.

#### B. Nonresidential Development:

1. Maximum Single Tenant Floor Space: The maximum square footage for a single nonresidential tenant in a commercial center shall be eighty thousand (80,000) gross square feet.

2. Front Yard: Measured from property line or abutting public street or private street edge, no front yard setback is required on local or important local streets. For yards that front on streets with a functional classification equal to or greater than minor collector, the required build to range (RBR) is zero feet (0') minimum to twenty feet (20') maximum. The minimum building street frontage percentage and the minimum percent of building within the front RBR for local and important local streets is fifty percent (50%) and seventy-five percent (75%) and for collector and arterial roads is sixty percent (60%) and seventy-five percent (75%) respectively. Any building located adjacent to, or across a street from, a residential zone shall have the same front yard setback as that required in the residential zone.

Unless it can be demonstrated as necessary for traffic safety, Off street parking for vehicles shall not occupy any space located between the building and the primary street, and the secondary street where applicable for a corner lot. Parking areas located to the side of structures shall be located a minimum of ten feet (10') back from the back of the adjacent public sidewalk. The Planning Commission may approve variations to the distance separating parking from a public sidewalk after review of a special exception in accordance with section 11-3-045.

3. Side And Rear Setbacks: There shall be no minimum setback requirement except where the CMU zone shares a common boundary with a noncommercial zone. In such a case, the minimum side and rear setbacks from property lines shall be twenty feet (20') for buildings and structures twenty feet (20') or less in height. Buildings or structures over twenty feet (20') in height shall be set back an additional foot for each foot of height over twenty feet (20'). If the area of the side or rear setback is used for parking or as a service area, a landscaped strip, not less than ten feet (10') in width shall be maintained along the property lines. Accessory structures may be located on a side or rear property line if: a) the structure is located more than ten feet (10') from the primary structure on the lot; b) the structure has no openings on the side contiguous to the property line, and the wall on that side has a two (2) hour fire retardant rating; and c) all drainage from the accessory structure is directed onto the lot on which it is located.

4. Side Yard Corner: Same as front yard.

5. Lot Size: No requirement.

6. Lot Width: No requirement.

7. Building Height: Maximum building height shall not exceed fifty five feet (55').

### **11-19-070: DESIGN STANDARDS:**

The following design standards shall be implemented throughout the community mixed use zone in order to create a cohesive, attractive appearance that is inviting and pedestrian friendly, and which encourages travel by foot, bicycling, vanpooling, car pooling and public transportation, in addition to traditional automobile transport:

A. Building Design: Structures in the zone shall incorporate a limited number of architectural styles or motifs, which shall establish an identifiable architectural character for the neighborhood. Building designs, including accessory structures, shall be complementary throughout the zone in terms of: 1) consistency of roof and siding materials and colors; 2) similar window and door patterns; and 3) similar streetscapes, including landscaping, light fixtures and similar site amenities. The height, size, bulk and arrangement of buildings on a development site should be designed to invite pedestrian circulation and offer an attractive streetscape.

1. Buildings shall provide a clear visual division between all floors. The top floor of any building shall contain a distinctive finish, consisting of a roof, cornice or other architectural termination.

2. The facade of every floor greater than thirty (30) linear feet and visible from a street shall incorporate architectural features designed to provide human scale and visual interest. Compliance can be achieved through balconies, alcoves, arches, columns, porticoes or wall segments that create at least a two foot (2') variation in plane for at least ten (10) linear feet for each thirty feet (30') of facade visible from a street.

3. For nonresidential development and the nonresidential floor of mixed use buildings, at least seventy five percent (75%) the linear frontage of any wall visible from a street shall incorporate windows, doors, display windows or other architectural features described in subsection A2 of this section.

4. Unless mechanically impractical, flat roofs are prohibited on residential buildings within the zone. When located on a roof, mechanical equipment shall be screened by roof components, parapets, cornices or other architectural features.

B. Exterior Materials: Exterior materials shall be durable, require low maintenance, and be of the same or higher quality as surrounding developments.

1. Details of proposed colors and materials, including color chips, samples and colored building elevations, shall be shown on building plans when a development project application is submitted.

2. Reflective surfaces shall not be used in locations which may produce excessive reflections or glare that may create a potential safety problem.

3. Tile, architectural grade asphalt shingles, standing seam metal or similar quality roofing materials shall be used on all visible pitched roofs.

4. Buildings on pads in commercial developments, including service stations, convenience stores, restaurants, auto maintenance facilities and similar uses, shall be designed in a compatible architectural style, and should incorporate the same materials, colors and landscaping as the primary development.



C. Building Entry: Main building entrances shall be easily identifiable, and form a transition between inside and outside areas. Building entries shall be provided with adequate lighting for security.

1. Buildings that are open to the public and are within thirty feet (30') of the street shall have an entrance for pedestrians from the street to the building interior. This entrance shall be designed to be attractive and functional, be a distinctive and prominent element of the architectural design, and shall be open to the public during all business hours.

2. Wherever practical, buildings shall incorporate arcades, roofs, alcoves, porticoes and awnings that protect pedestrians from the rain and sun. In plazas and courtyards lighting shall incorporate fixtures and standards designed for pedestrian areas.

D. Exterior Storage And Equipment: There shall be no outside storage of materials or equipment, other than motor vehicles licensed for street use except as specifically approved by the planning commission in conjunction with a conditional use application.

1. Trash storage areas, mechanical equipment, transformers, meters and similar devices are not permitted to be visible from the street. Where site constraints would otherwise force these uses into visible locations, they shall be screened by decorative walls, earthen berms, landscaping or architectural treatments capable of screening views from streets and sidewalks.

2. If in rooftop locations, mechanical equipment shall be screened by roof components, parapets, cornices or other architectural features.

3. All new utility transmission lines shall be placed underground.

E. Architectural Review: Prior to the issuance of a building permit for any conditional or permitted use, the planning director must review the proposed plans for compliance with the design standards of this chapter. Appeals of staff actions on architectural compliance shall be heard by the planning commission.



## Planning Commission Staff Report May 19, 2022

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### Item 6: One Solar – Conditional Use/Site Plan

Public Hearing: Yes  
Application No.: C-8-22  
Property Address: 819 North Lagoon Drive  
General Plan Designation: CMU (Commercial Mixed Use)  
Zoning Designation: CMU (Commercial Mixed Use)  
Area: 2.0 Acres  
Number of Lots: 1  
Property Owner: Jake Kilgore/Telt Properites LLC  
Agent: Jake Tate

Request: *Applicant is requesting conditional use/schematic (concept) site plan approval for a one-lot Planned Center Development (PCD) for the One Solar project.*

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### **Background Information**

The subject property is located in the CMU zone, and unlike some (but not all) districts in the Zoning Ordinance, which list uses as either “permitted” or “conditional”, the uses in the text of the CMU zone are set forth as “allowable” (Section 11-19-040). Moreover, “All projects proposed within the CMU zone shall be reviewed and approved either as a planned unit development [PUD] pursuant to chapter 27, or as a planned center development in accordance with the conditional use permit provisions of chapter 8” (Section 11-19-160).

The applicant is proposing a flat roof, but the conditional use process does not allow the City to waive its prohibition of flat roofs in the CMU zone (Section 11-19-070 A. 4.). And even though the PUD process, which can make possible such deviations from the standards of the underlying zone, it is cumbersome because Chapter 27 of the Zoning Ordinance regarding PUDs mostly relates to residential uses. However, on May 5, 2022, the Planning Commission tabled review of this request to allow staff time to prepare a zone text change to the roof requirement in the CMU zone, which will enable consideration of the One Solar application as a conditional use. In the event the Commission favorably considers the flat roof amendment to the Zoning Ordinance (see item 5), staff recommends that the Planning Commission approve the motion set forth below.

### **Suggested Motion**

Move that that Planning Commission grant conditional use and schematic (concept) site plan approval subject to all applicable Farmington City development standards and ordinances and the following:

1. The City Council must amend Section 11-19-070 A. 4. of the Zoning Ordinance to allow flat roofs for commercial uses in the CMU zone.
2. The project may incorporate a flat roof if the owner includes better exterior design and/or materials related to the façade of the building acceptable to the City. Consideration of such by the Planning Commission shall occur as part of its review of the Final PUD Master Plan.
3. Interior first floor storage areas must remain and the owner shall not use this space for future office or other similar types of expansion unless he or she provides, as approved by the City, more parking on-site, demonstrates less parking demand, or creates additional off-site parking (shared or otherwise).
4. Parking related to the use of the gym portion of the building cannot conflict with employee parking use if it results in on-site and/or off-site parking shortages.
5. The owner must meet all remaining City standards, including but not limited to, any outstanding DRC (Development Review Committee) comments.
6. The Planning Commission hereby delegates site plan review and approval for the One Solar project to the City's planning department pursuant to Section 11-7-040 F. of the Zoning Ordinance.

#### Findings for Approval

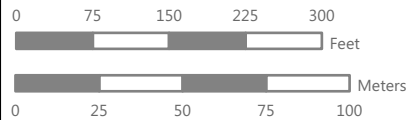
1. Sections 11-19-070 through 11-19-150 of the CMU zone text will ensure quality design for the project.
2. Parking should not be a problem if conditions of approval are met.
3. The project is consistent with the East Park Lane Master Plan, which is an element of the City's Master Plan.

#### Supplemental Information

1. Vicinity map
2. Schematic (Concept) Site Plan
3. Proposed building elevations/floor plans

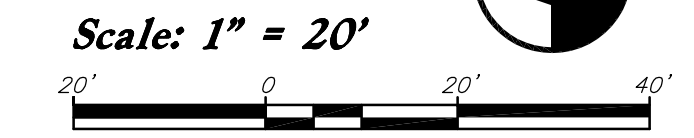


**VICINITY MAP**  
819 North Lagoon Drive



Disclaimer: This map was produced by Farmington City GIS and is for reference only. The information contained on this map is believed to be accurate and suitable for limited uses. Farmington City makes no warranty as to the accuracy of the information contained for any other purposes.

**Site Data**  
 Site Area = 87,365 s.f. (2.0 ac.)  
 Landscape Area Provided = 24,746 s.f. (28%)  
 Impervious Area Provided = 40,231 s.f. (46%)  
 Building Footprint Area = 22,388 s.f. (26%)  
 Office Area = 21,500 s.f.  
 Commercial Recreation = 12,040 s.f.  
 (Basketball Court)  
 Total Building Area = 33,540 s.f.  
 Parking Required (Office) = 3/1000 s.f. = 65 stalls\*  
 Parking Provided = 65 stalls (3/1,000)



**\* Office use and basketball use will not occur at the same time so more intense office use used to determine the parking requirement.**

**General Site Notes:**

- All dimensions are to back of curb unless otherwise noted.
- Fire lane markings and signs to be installed as directed by the Fire Marshal.
- Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
- Const. curb transition at all points where curb abuts sidewalk, see detail.
- Contractor shall place asphalt paving in the direction of vehicle travel where possible.
- Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

**Site Construction Notes**

- Const. 24" Curb & Gutter (C4.1)
- Const. Asphalt Paving (C4.1)
- Const. Conc. Sidewalk (C4.1)
- Const. Thickened Edge Sidewalk (C4.1)
- Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (21, 4.3)
- Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (See Grading Detail Sheets)
- Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (2, C2.3)
- Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (2, C2.3)
- Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. thickness (C4.1)
- Const. Conc. Paving (C4.1)
- Sawcut; Provide Smooth Clean Edge
- Dumpster Enclosure (See Arch. Plans)
- Const. Directional Arrows per MUTCD
- Const. 24" White Stop Bar
- Const. Conc Wheel Stop
- Const. Stop Sign per MUTCD R1-1
- Conn. & Match Existing Improvements
- Const. Landscape Edging (Coordinate w/ Landscape Plan)
- Const. Light Pole (see Site Electrical Plans)
- Const. Dock Retaining wall with Guard Rail. (see Architectural and Structural Plans)
- Const. Bollard (18, C4.3)
- Monument Sign (per separate plans & permit)
- Asphalt Concrete T Patch Per Farmington City Standards Drawing 253 SP
- Flare Driveway Approach Per Farmington City Standards Drawing 221
- Street Slope Tie-In Per Farmington City Standards Drawing 281
- Tie into Existing Curb Per Farmington City Standards Drawing 205 SP
- Concrete Sidewalk Per Farmington City Standards Drawing 231 SP

**Construction Survey Note:**

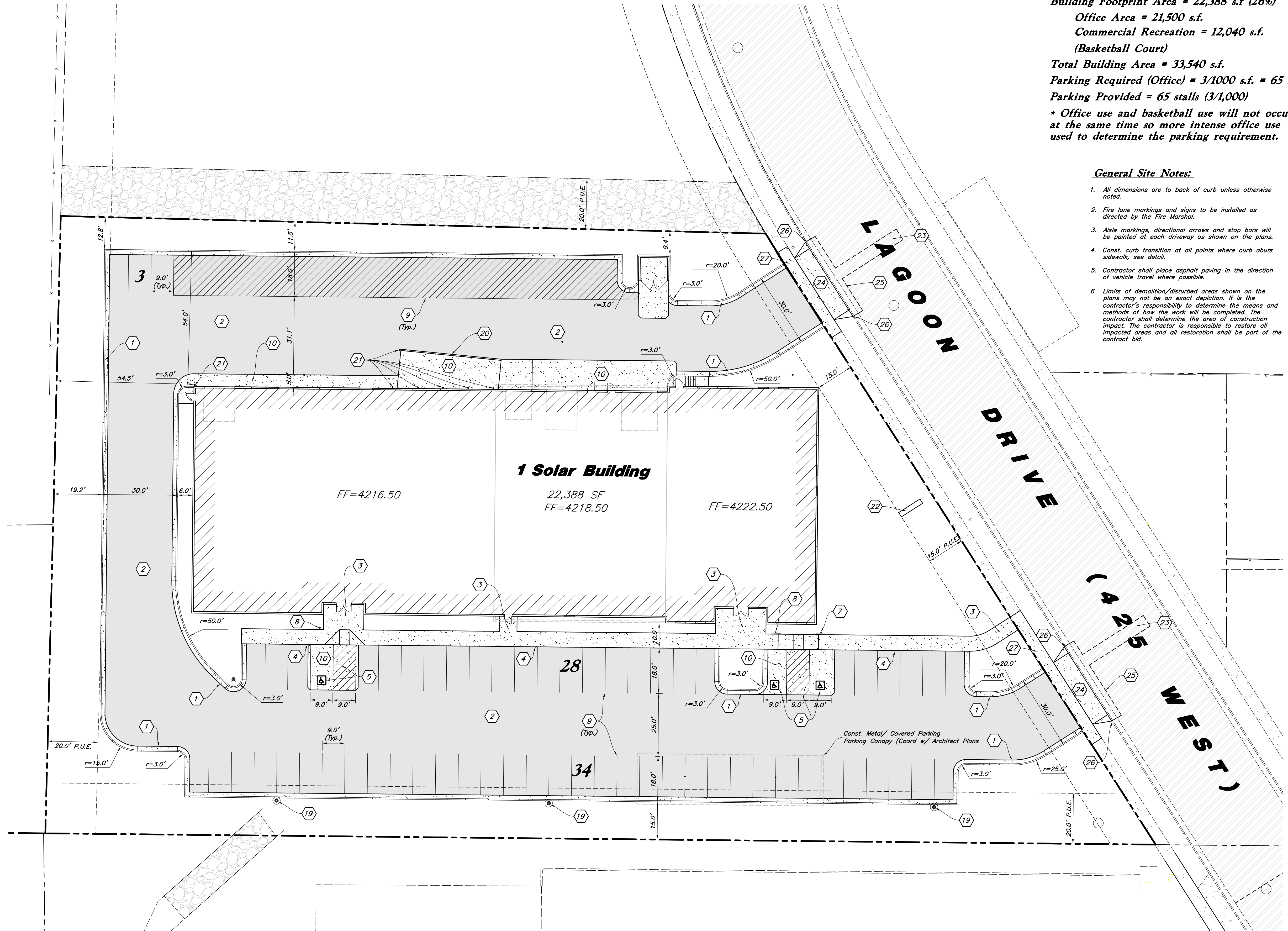
The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

**Survey Control Note:**

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

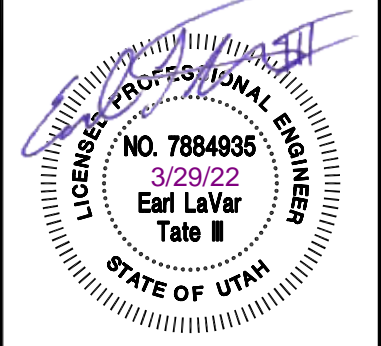
**PRIVATE ENGINEER'S NOTICE TO CONTRACTORS**

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.



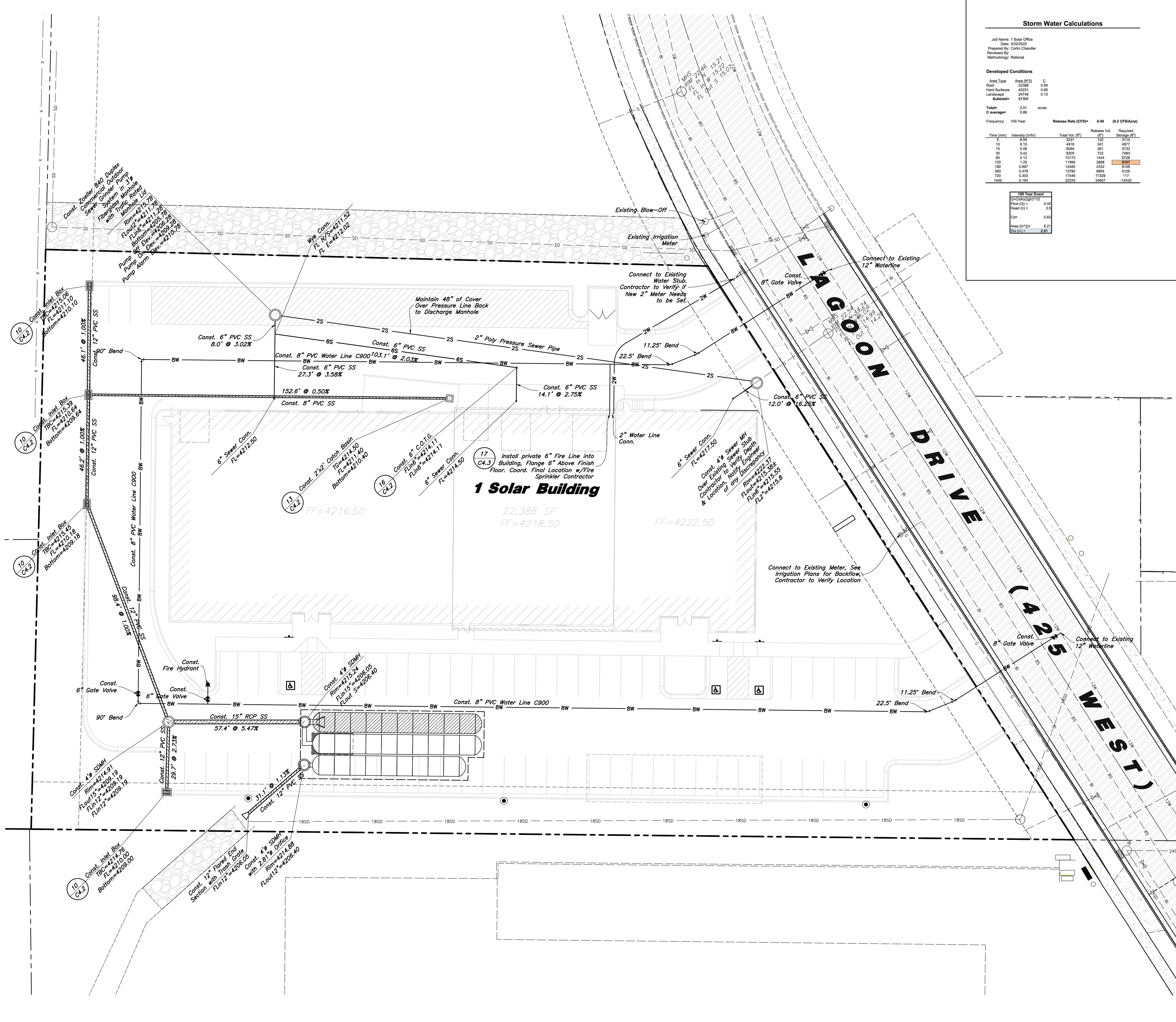
**ANDERSON WAHLEN & ASSOCIATES**  
 2010 North Redwood Road, Salt Lake City, Utah 84116  
 (801) 521-8529 - awengineering.net

**Site Plan**  
**1 Solar Office**  
 819 North 425 West  
 Farmington, UT



29 Mar, 2022

SHEET NO.  
**C1.1**



### Storm Water Calculations

Job Name: 1 Solar Office  
 Date: 3/22/2022  
 Prepared By: Coren Chandler  
 Reviewed By:  
 Methodology: Rational

**Developed Conditions**

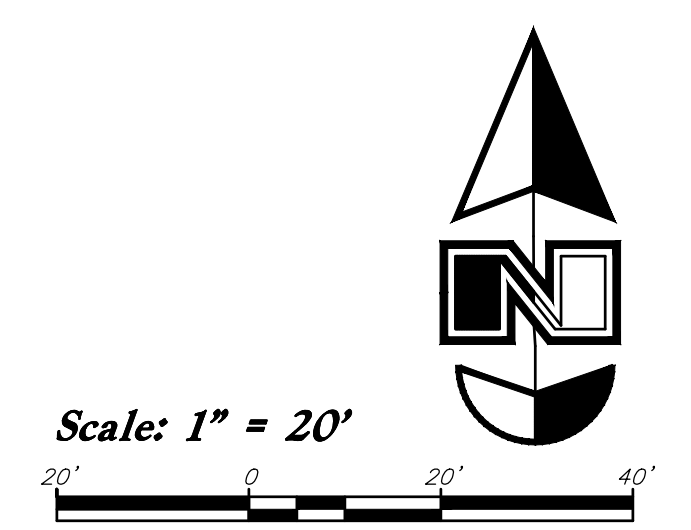
Area Type	Area (ft <sup>2</sup> )	C
Roof	27188	0.50
Hard Surfaces	40231	0.85
Landscaping	24746	0.15
Subtotal	87565	
<b>Total</b>	<b>2,01</b>	<b>0.85</b>

Frequency: 100 Year Release Rate (CFR): 6.40 (0.3 CFR/Acre)

Time (min)	Intensity (in/hr)	Total Vol. (ft <sup>3</sup> )	Release Vol. (ft <sup>3</sup> )	Required Storage (ft <sup>3</sup> )
5	6.08	2231	527	2100
10	6.15	4418	241	4877
15	6.20	6605	361	6703
30	6.42	13210	722	13483
45	6.58	19815	1083	20312
60	6.72	26420	1444	27141
90	6.87	39630	2166	40566
120	6.95	52840	2888	54002
180	7.12	79260	4332	81188
300	7.45	117390	6594	121896
720	8.325	17446	1729	117
1440	9.165	2225	267	-222

**100 Year Event**

City Coefficient (C <sub>u</sub> )	0.8
Flow (Q)	0.40
Peak (P <sub>h</sub> )	3.8
C <sub>o</sub>	0.02
Area (A <sub>u</sub> )	0.21
Q <sub>u</sub> (ft <sup>3</sup> /s)	2.81



#### General Utility Notes:

- All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
- Coordinate all utility connections to building with plumbing plans and building contractor.
- Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
- All catch basin and inlet box grates are to be bicycle proof.
- Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
- Gas lines, telephone lines, and cable TV lines are not a part of these plans.
- Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
- Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to clear sewer, storm drain, or other utilities as necessary including valve boxes and hydrant spools to proper grade.
- Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the asphalt.

#### Utility Piping Materials:

All piping materials shall be per local agency standards or the specifications below at a minimum. All utility piping shall be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

- Culinary Service Laterals**
- Polyethylene (PE) Water Pipe (Up to 3 inches diameter), AWWA C901, PE 3408, SDR 9 (200 psi)
  - Copper Pipe (Up to 3 inches diameter); Type 'K.'
- Water Main Lines and Fire Lines**
- Polyvinyl Chloride (PVC) (4 inches to 12 inches diameter); AWWA C900, Class 200
- Sanitary Sewer Lines**
- All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
- Storm Drain Lines**
- 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
  - 15" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III

Const. ADS StormTech (Model UC-2200) Chambers per Manufacturer Stds. Contractor to Provide Submittal on Full Chamber, Isolator Row, and Header/Manifold System for Approval Prior to Installation.

**CAUTION:**  
The locations and/or elevations of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

9.107 of Required 2,560 of Provided  
 Top of Chambers = 4210.15  
 Bottom of Chamber = 4205.15  
 Bottom of Stone = 4203.50  
 FLIN = 4206.05  
 FLout = 4206.05

**Storm Drain & Sanitary Sewer Note:**  
**All Storm Drainage & Sanitary Sewer Pipe Lengths and Slopes are from Center of Structure to Center of Structure**

**Onsite Utility Connection Notes:**

- Contractor shall field verify all utility connection elevations prior to any utility construction has begun.
- Contractor shall construct utility lines into site prior to any onsite utility construction. Gravity lines are to be constructed starting at the lowest point and be installed prior to any waterline installation.
- Construction of any onsite utilities prior to the offsite connection will be done at the contractors risk.

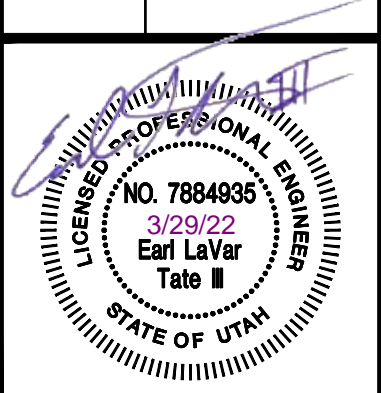


REV.	DATE	DESCRIPTION

Designed by: JT  
 Drafted by: SM  
 Client Name:  
 1 Solar  
 21-223 UT

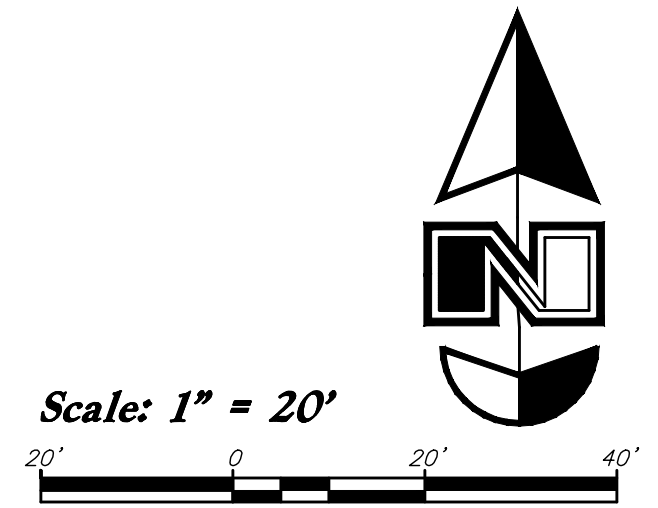
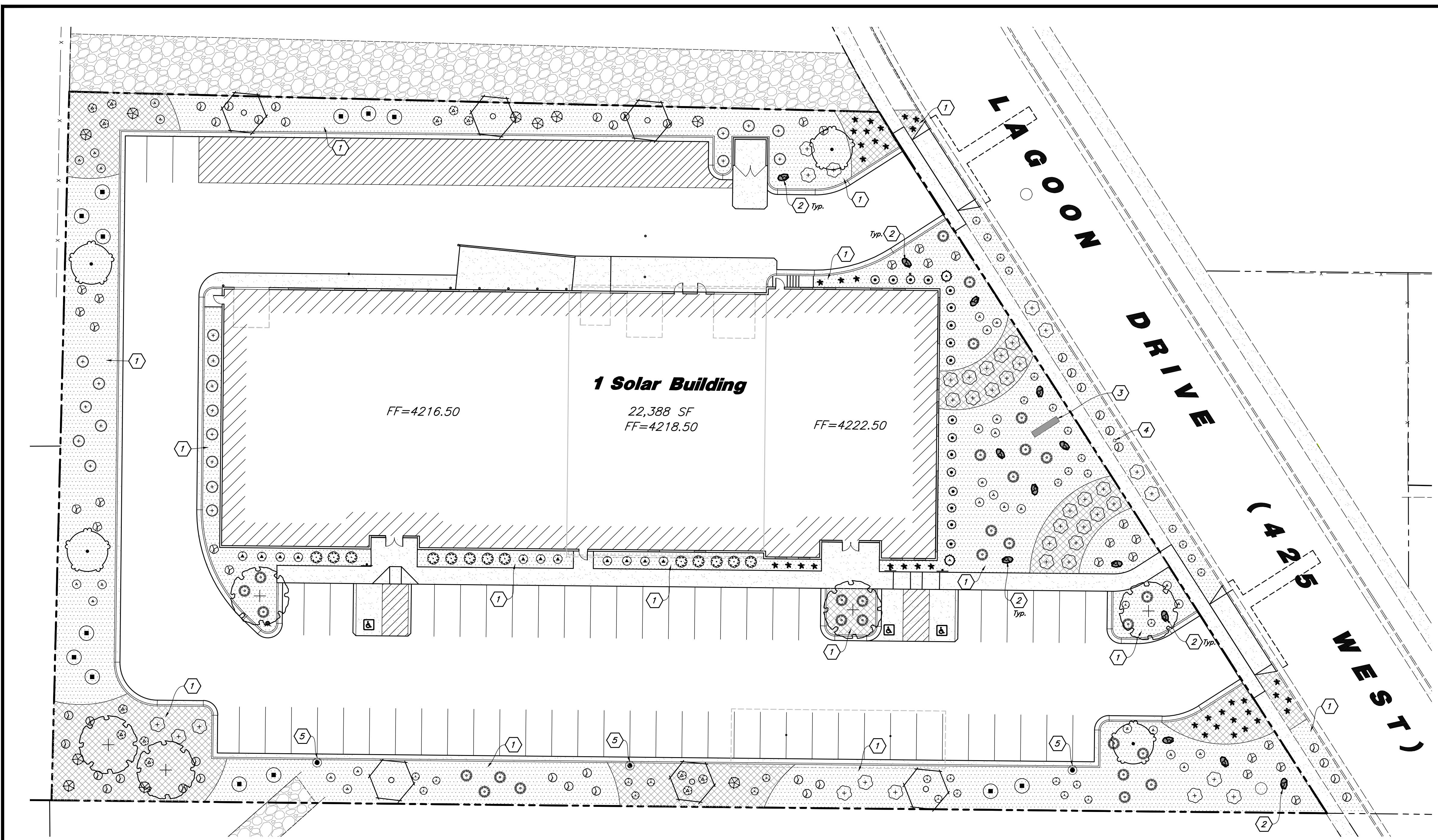


Utility Plan  
**1 Solar Office**  
 819 North 425 West  
 Farmington, UT



29 Mar, 2022

SHEET NO.  
**C3.1**



**Landscape Data**  
 Zone: Commercial Mixed Use (CMU)  
 Site Area = 87,365 s.f. (2.0 ac.)  
 Landscape Area Required = 17,473 s.f. (20%)  
 Landscape Area Provided = 24,746 s.f. (28%)

- Landscape Notes:**
- All Landscape Shall be Watered by an Automatic Irrigation System. Point Source Drip for Shrub Areas. See Sheet L2.1 for Layout and L3.1 for Details.
  - All Areas that Are Disturbed by Construction that is Not Building and Hardscape Shall be Landscaped. Contact LA With Areas in Question.
  - Adjust Landscape as Needed to Accommodate New and Existing Utilities. Provide Easy Access to Utilities.
  - Different Stone Colors and Sizes Shall Not be Separated by Edging but Shall Have a Defined Distinct Edge.
  - All Existing Plant Material Shall be Removed for New Building, Parking Lot, Sidewalks, and Landscape.

- Landscape Keynotes**
- Install Shrub Area with Decorative Stone Over Weed Barrier - See Schedule for Type
  - Install Landscape Boulder
  - Monument Sign by Separate Permit
  - Existing Secondary Water Connection Location - See Irrigation Plan for More Detail
  - Light Pole - See Site Elect. Plans

**General Landscape Notes:**

- Plant material quantities are provided for bidding purposes only. It is the contractor's responsibility to verify all quantities listed on the plans and the availability of all plant materials and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified material. The contractor shall provide sufficient quantities of plants equal to the symbol count or to fill the area shown on the plan using the specified spacing. Plans take precedence over plant schedule quantities.
- Contractor shall call Blue Stake before excavation for plant material.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
- The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock Published by the American Association of Nurserymen, Inc. In addition, all new plant material shall be of specimen quality.
- The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.
- It is the contractor's responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain and warranty all plant materials.
- The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants.
- The contractor shall install all landscape material per plan, notes and details.

**PLANT SCHEDULE**

TREES	QTY.	BOTANICAL / COMMON NAME	SIZE
	2	Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper	6' Min. Ht.
	4	Koeleruteria paniculata / Golden Rain Tree	2" Caliper
	5	Quercus robur fastigiata 'Crimson Spire' / Crimson Spire Oak	2" Caliper
	6	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac*	2" Caliper
SHRUBS	QTY.	BOTANICAL / COMMON NAME	SIZE
	17	Buxus x 'Green Mound' / Green Mound Boxwood	5 gal
	13	Caragana frutex 'Globosa' / Globe Russian Peashrub	5 gal
	36	Coryopteris x clandonensis 'Blue Mist' / Blue Mist Shrub	2 gal
	19	Euonymus alatus 'Compactus' / Compact Burning Bush	5 gal
	29	Juniperus horizontalis 'Bar Harbor' / Bar Harbor Creeping Juniper	5 gal
	13	Physocarpus opulifolius 'Summer Wine' / Summer Wine Ninebark	5 gal
	10	Picea pungens 'Globosa' / Dwarf Globe Blue Spruce	5 gal
	13	Pinus mugo 'Slowmound' / Slowmound Mugo Pine	5 gal
	29	Potentilla fruticosa 'Goldfinger' / Goldfinger Potentilla	2 gal
	37	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	2 gal

**MATERIAL SCHEDULE**

- ORNAMENTAL GRASSES**
- | QTY. | BOTANICAL / COMMON NAME  | SIZE  |
|------|--|-------|
| 34   | Rosa x 'Meigalpio' / Red Drift Rose                              | 2 gal |
| 11   | Spiraea x b. 'Anthony Waterer' / Anthony Waterer Spiraea         | 2 gal |
| 25   | Spiraea x bumalda 'Goldmound' / Gold Mound Spiraea               | 2 gal |
| 39   | Helictotrichon sempervirens 'Sapphire' / Sapphire Blue Oat Grass | 1 gal |
- Decorative Stone #1** - Install a Four (4) inch depth over Dewitt Pro5 Weed Barrier; Stone Shall be Used in all Shrub Areas and Washed Prior to Installation; Remove all Soil From Weed Barrier Prior to Laying Stone; Stone Shall be 1 1/2" Diameter Fractured Wash Gray Color From a Local Source; *Tammington Rock*. Detail: 4/L3.1
- Decorative Stone #2** - Install a Six (6) inch depth over Dewitt Pro5 Weed Barrier; Carefully Place Around Plant Material; Stone Shall be Used in all Shrub Areas and Washed Prior to Installation; Remove all Soil From Weed Barrier Prior to Laying Stone; Stone Shall be From Staker Parsons Maguire Pit 2-4" Diameter Fractured Stone. Detail: 4/L3.1
- Landscape Accent Boulders** - Boulders Shall be 3-4' in Diameter, Fractured and Match Proposed Stone #2; Boulders Shall be Recessed into the Stone Two (2) Inches and Not Set on Top of Stone; No Boulder Shall be Placed Adjacent to a Curb Where a Car Could Potential Hit With Bumper. Detail: 5/L3.1

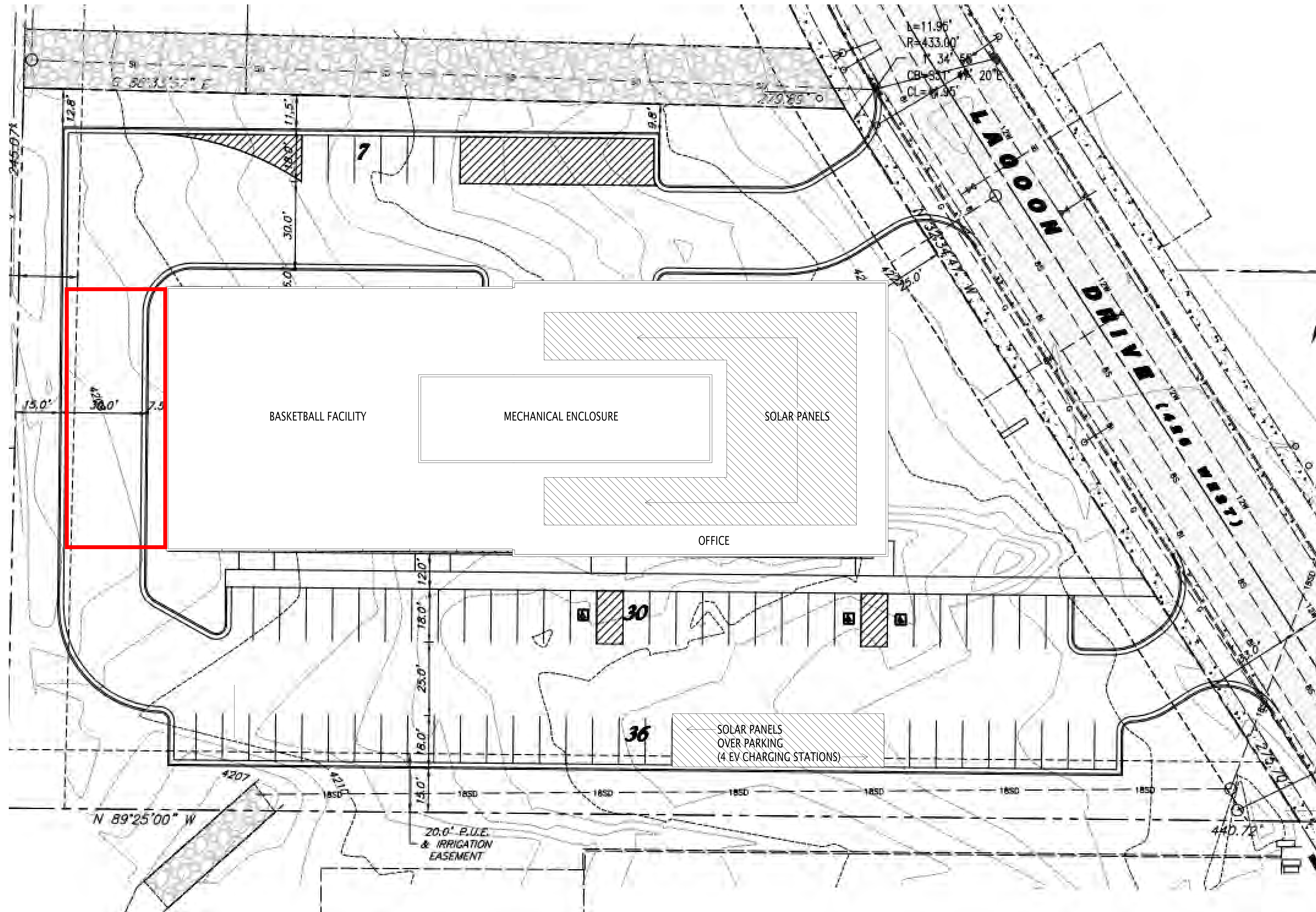
**AWA**  
 ANDERSON WAHLEN & ASSOCIATES  
 2010 North Redwood Road, Salt Lake City, Utah 84116  
 (801) 321-8529 - awaengineering.net

**Landscape Plan**  
**1 Solar Office**  
 819 North 425 West  
 Farmington, UT



29 Mar, 2022  
 SHEET NO. **L1.1**

REVISIONS:

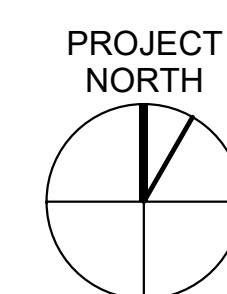



NOT FOR CONSTRUCTION

**SCHEMATIC DESIGN**  
**1 SOLAR OFFICE AND BASKETBALL FACILITY**

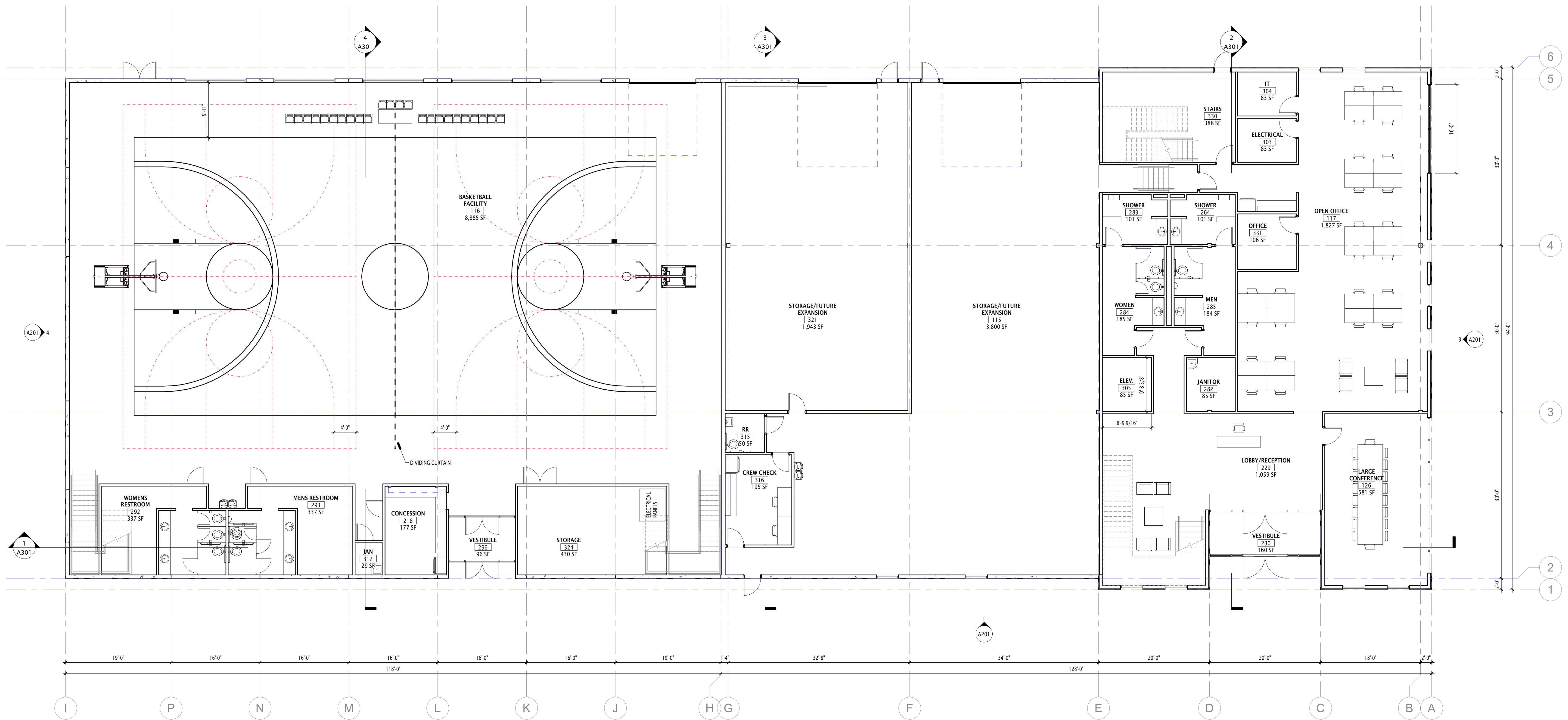
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**1 SOLAR**

Enter Address Here -->  
OWNER PROJECT NO.:  
GSBS PROJECT NO.:  
ISSUED DATE: 03/02/2022  
**SITE PLAN**





REVISIONS:

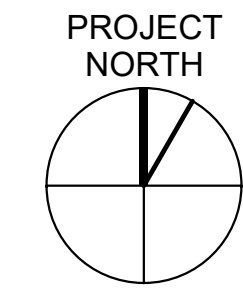
NOT FOR CONSTRUCTION

**SCHEMATIC DESIGN**  
**1 SOLAR OFFICE AND BASKETBALL FACILITY**

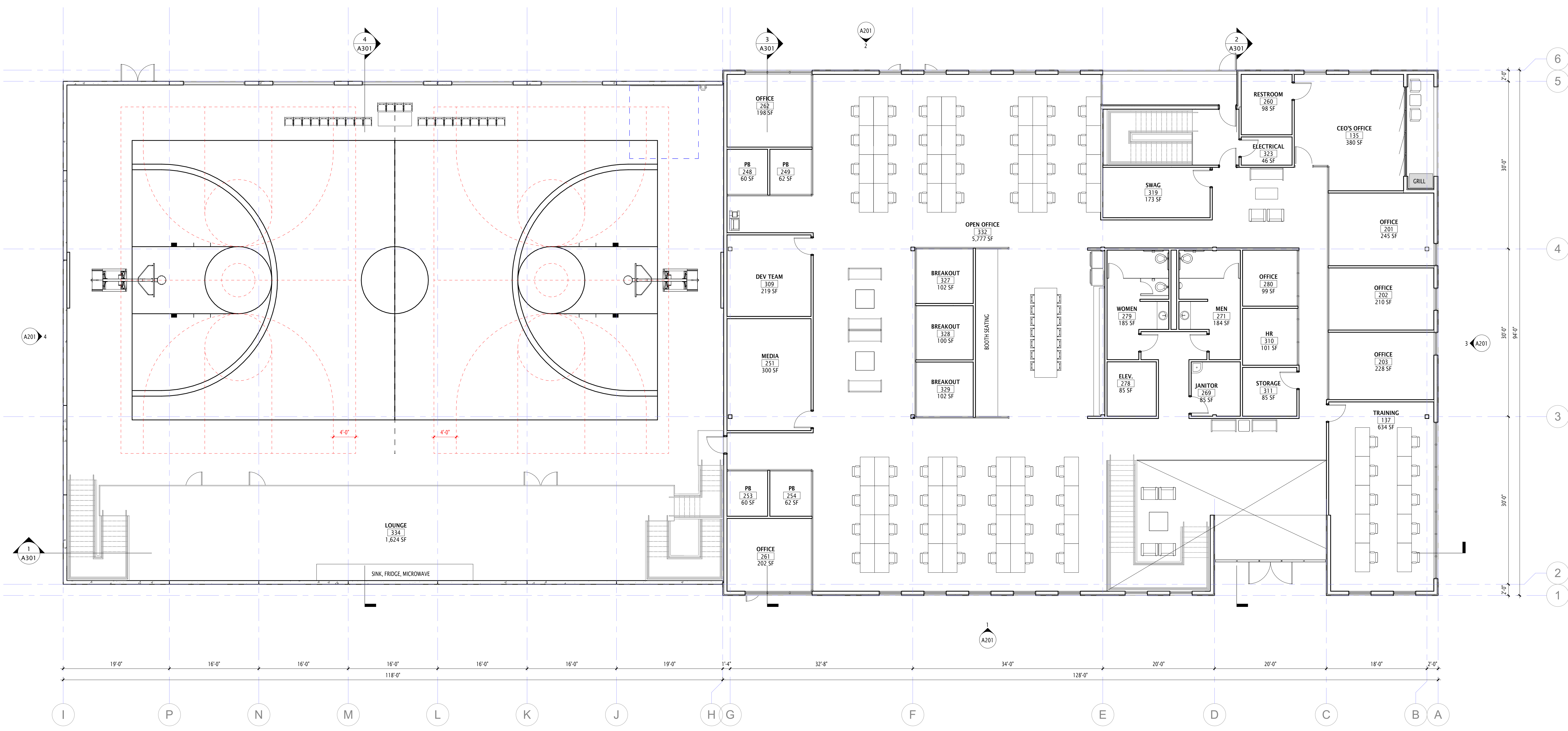
Enter Address Here -->  
**1 SOLAR**

Enter Address Here -->  
OWNER PROJECT NO.:  
GSBS PROJECT NO.:  
ISSUED DATE: 03/02/2022  
**FLOOR PLAN - LEVEL 1**

**1 FLOOR & WALL TYPES PLAN - LEVEL ONE**  
A111 1/8" = 1'-0"



REVISIONS:

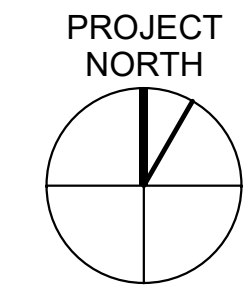



NOT FOR CONSTRUCTION

**SCHEMATIC DESIGN**  
**1 SOLAR OFFICE AND BASKETBALL FACILITY**

Enter Address Here -->  
**1 SOLAR**

Enter Address Here -->  
OWNER PROJECT NO.:  
GSBS PROJECT NO.:  
ISSUED DATE: 03/02/2022  
**FLOOR PLAN - LEVEL 2**

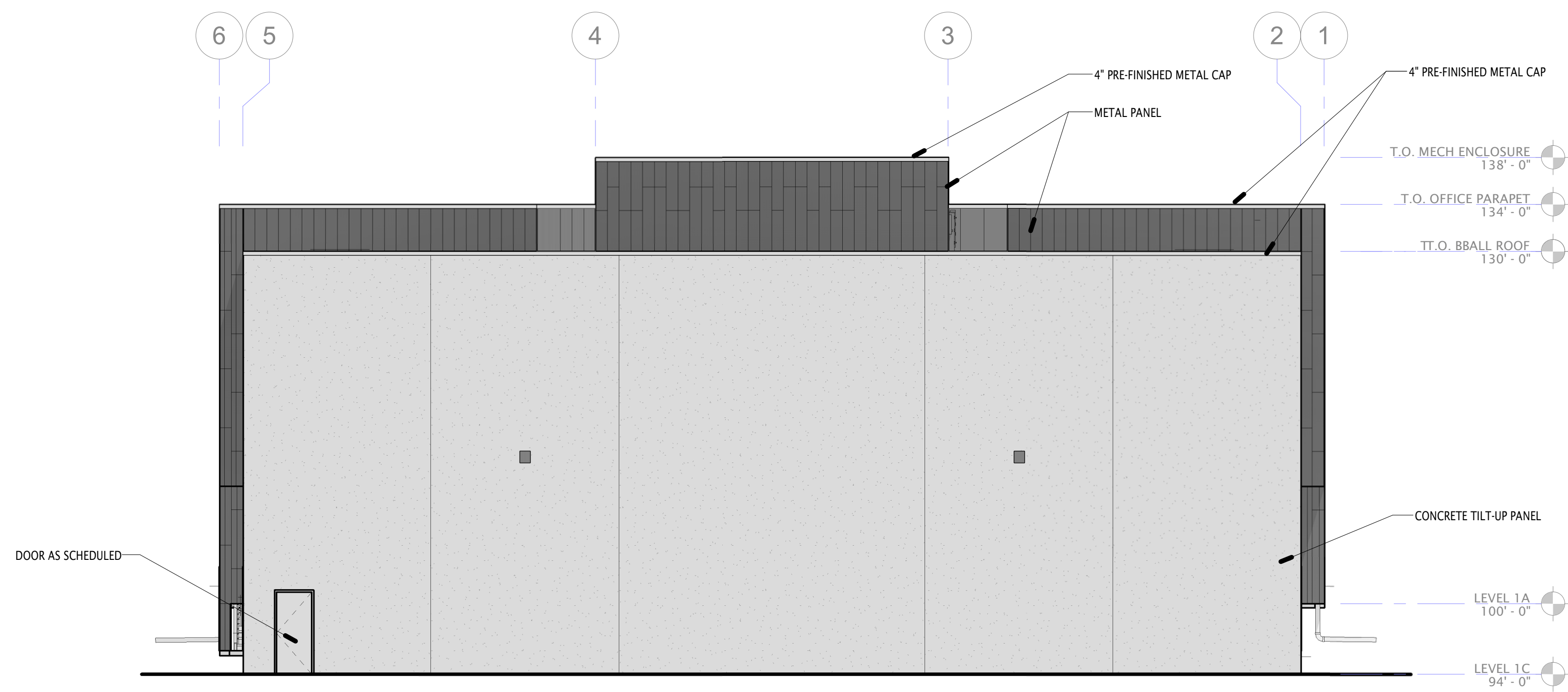


**1 FLOOR & WALL TYPES PLAN - LEVEL TWO**  
A112 / 1/8" = 1'-0"

REVISIONS:

NO.	DESCRIPTION

NOT FOR CONSTRUCTION



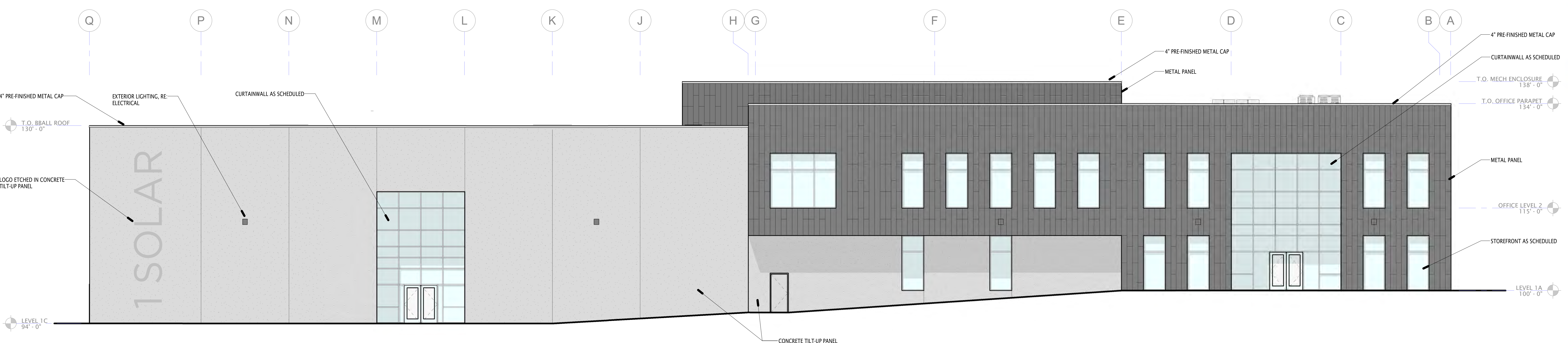
**4 WEST ELEVATION**  
AE201/1/8" = 1'-0"



**3 EAST ELEVATION**  
AE201/1/8" = 1'-0"

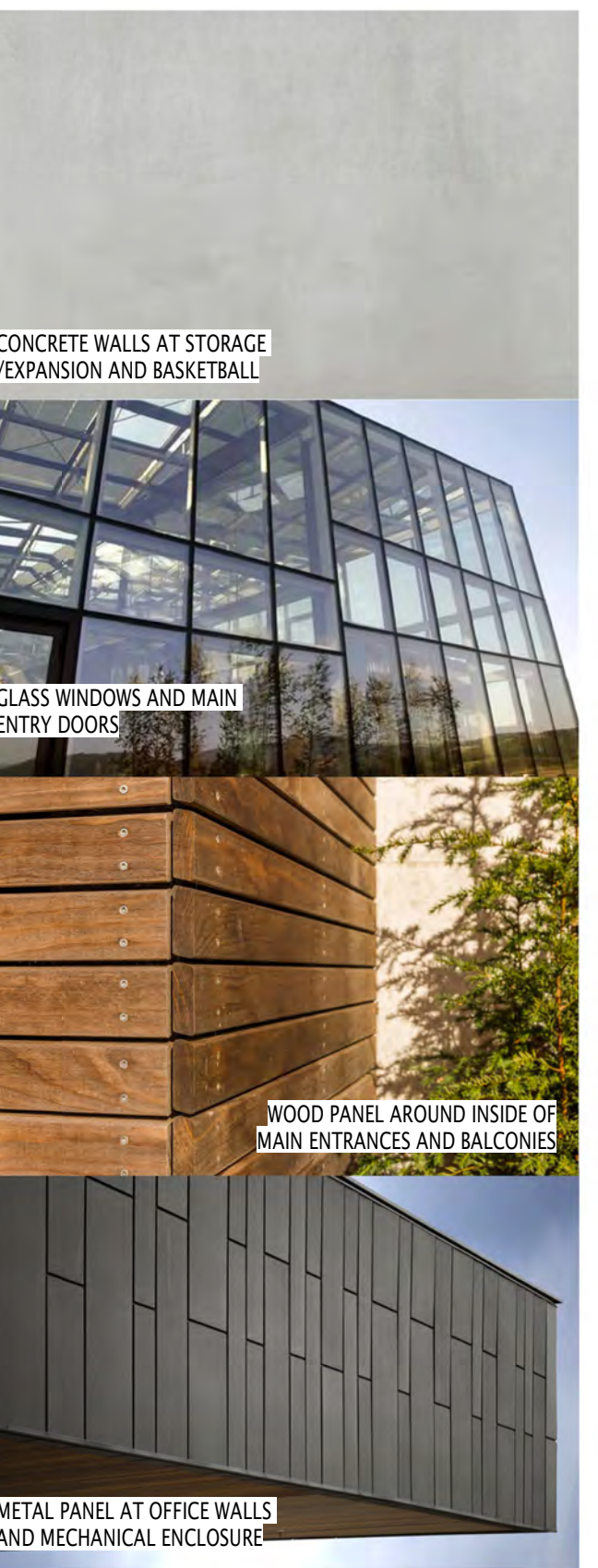


**2 NORTH ELEVATION**  
AE201/1/8" = 1'-0"



**1 SOUTH ELEVATION**  
AE201/1/8" = 1'-0"

**1 SOLAR MATERIALS**



**CONSTRUCTION DOCUMENTS**

**1 SOLAR OFFICE AND BASKETBALL FACILITY**

819 NORTH LAGOON DRIVE  
FARMINGTON, UT



2391 S 1560 W, STE C  
WOODS CROSS, UT 84087

OWNER PROJECT NO.:  
GSBS PROJECT NO.: 2021.095.00  
ISSUED DATE: 05/15/2022

**BUILDING ELEVATIONS**



## Planning Commission Staff Report May 19, 2022

---

### Item 7: Conditional Use approval for a Planned Center Development (PCD), for the proposed Complete Natural Projects project.

Public Hearing:	No
Application No.:	S-11-22
Property Address:	875 North Lagoon Drive
General Plan Designation:	CMU (Commercial Mixed Use)
Zoning Designation:	CMU (Commercial Mixed Use)
Area:	1.86 acres
Number of Lots:	1
Property Owner:	Ensign Financial Group
Applicant:	Scot Poole

Request: Applicant is proposing a new commercial building requiring in the CMU zone which requires a conditional use permit for the proposed use and site plan.

---

#### **Background Information**

##### **Update:**

The Planning Commission was briefly introduced to this project at the last meeting where it was determined that this project could not be considered as proposed without changes to the City's ordinances to allow for flat roof architecture and the placement of parking between the building and the street.

The Commission is reviewing a zone text amendment that would accommodate this project, however any approval of this PCD will be subject to the City Council giving a final approval of the proposed zone text amendment.

The proposed text amendment makes flat roofs for commercial projects an option, similarly the parking between the building and the street can be considered provided a correlation to improve a traffic safety issue. Requiring this documentation which would be provided for review of the Planning Commission that sees all development in the CMU zone will limit the instances where this can be implemented as it will generally be on corners, most of which will not have the radius of this building.

It remains the opinion of staff that the proposed site plan and architecture offer a good project that fits the area and that the placement of parking between the building and the street creates a safer situation for traffic.

**Original Report: 5/5/2022**

The subject property is part of an existing subdivision and has previously been zoned to the CMU district following the city's general plan designation. Staff have begun some precursory review in initial discussions with the applicant; however, there are some elements of the proposed plan that require flexibility from typical standards of the CMU zone that can be considered through the PUD review process. Should the Planning Commission and Council find the required flexibility acceptable the complete design and plan review will be completed.

The first item requiring flexibility from the standards of 11-19-060 is the positioning of the building. In September of 2021 the city modified the front yard setback standard requiring in effect that there be no parking between the building and the street. As proposed the project includes parking in this location. It is the opinion of staff that this is appropriate in this situation based on the surrounding development, but mostly due to the site distance this provides for traffic as this development is on a curve/corner.

Second, the building includes a flat roof style design which is in conflict with 11-19-070 A(4) which states: 'Unless mechanically impractical, flat roofs are prohibited within the zone. When located on a roof, mechanical equipment shall be screened by roof components, parapets, cornices or other architectural features.' It is the feeling of staff that the architecture proposed is in line with surrounding development and the other applicable design standards that a flat roof construction would be appropriate.

**Recommendation:**

- Move that the Planning Commission recommend approval of the PCD allowing for parking to be located between the building and the street as indicated in the provided site plan and allow for the flat roof design. The final site plan review shall be completed by staff per 11-7-040 (F). Final approval of the PCD and Conditional Use Permit shall be subject to the City Council's approval of the necessary zone text amendments and the following conditions:
  - a. Final site plan review shall be subject to compliance with Section 11-19-070 Design Standards and all other applicable ordinances, standards, and regulations. Review and confirmation of these details are to be completed by City Staff and applicable agencies as permitted by FCC Chapter 11-7.
  - b. The trash enclosure shall not be located between the building and the street.

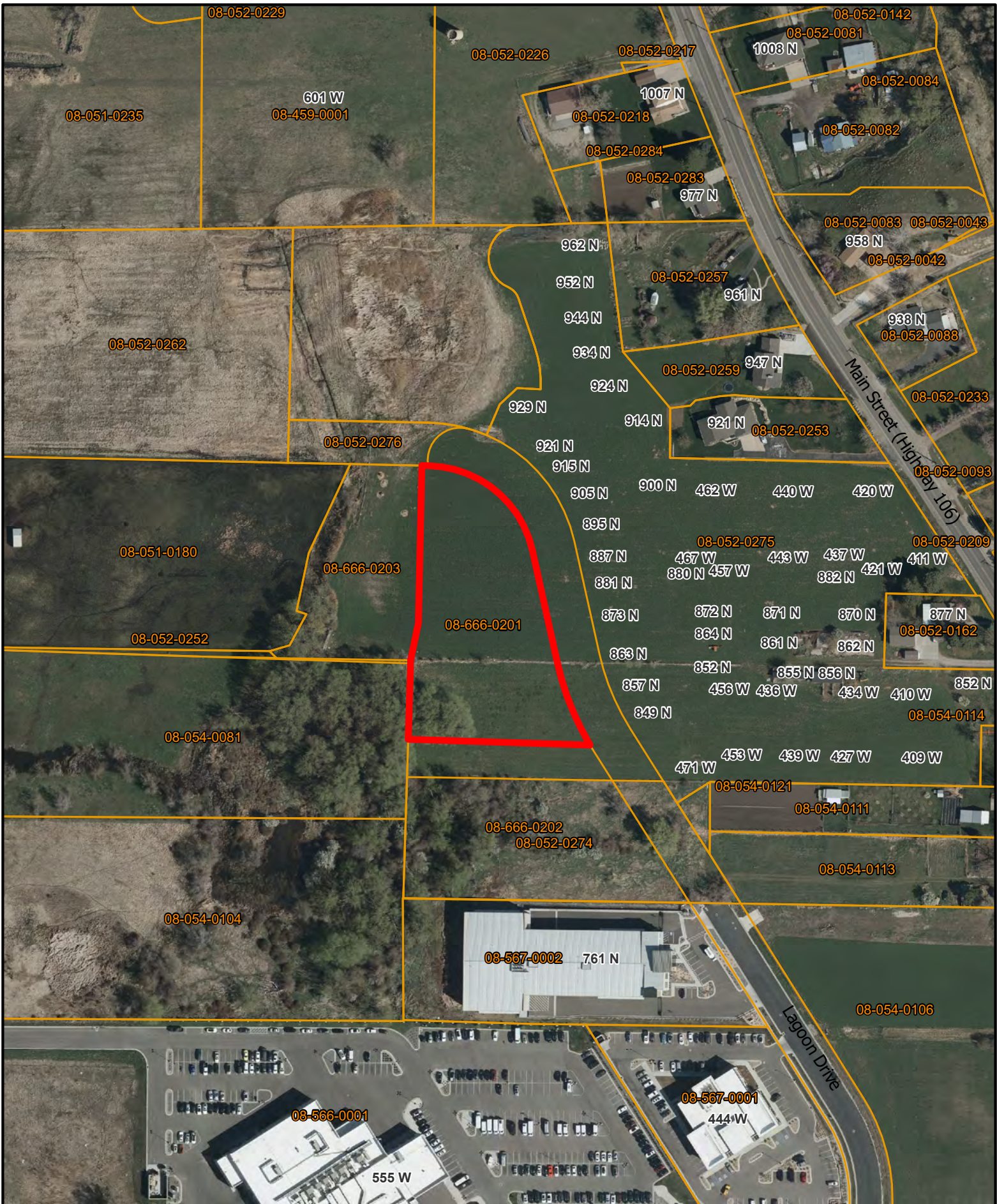
**Findings for Approval:**

1. The applicant has provided site line data which has been reviewed by the city's traffic engineer indicating that the proposed layout will facilitate better site distance to increase traffic safety.

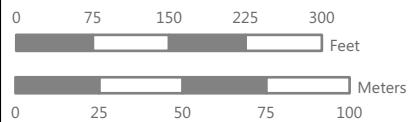
2. The site layout is compatible with other developments which share the same street frontage along Lagoon Drive.
3. The proposed flat roof architecture fits with the other buildings in existence and in consideration along Lagoon Drive.

**Supplemental Information**

1. Vicinity Map
2. Photos of Development in Close Proximity.
3. Floor Plans and Elevations
4. Site Plan, Site Distance, Landscape Plans



**VICINITY MAP**  
875 North Lagoon Drive



Disclaimer: This map was produced by Farmington City GIS and is for reference only. The information contained on this map is believed to be accurate and suitable for limited uses. Farmington City makes no warranty as to the accuracy of the information contained for any other purposes.

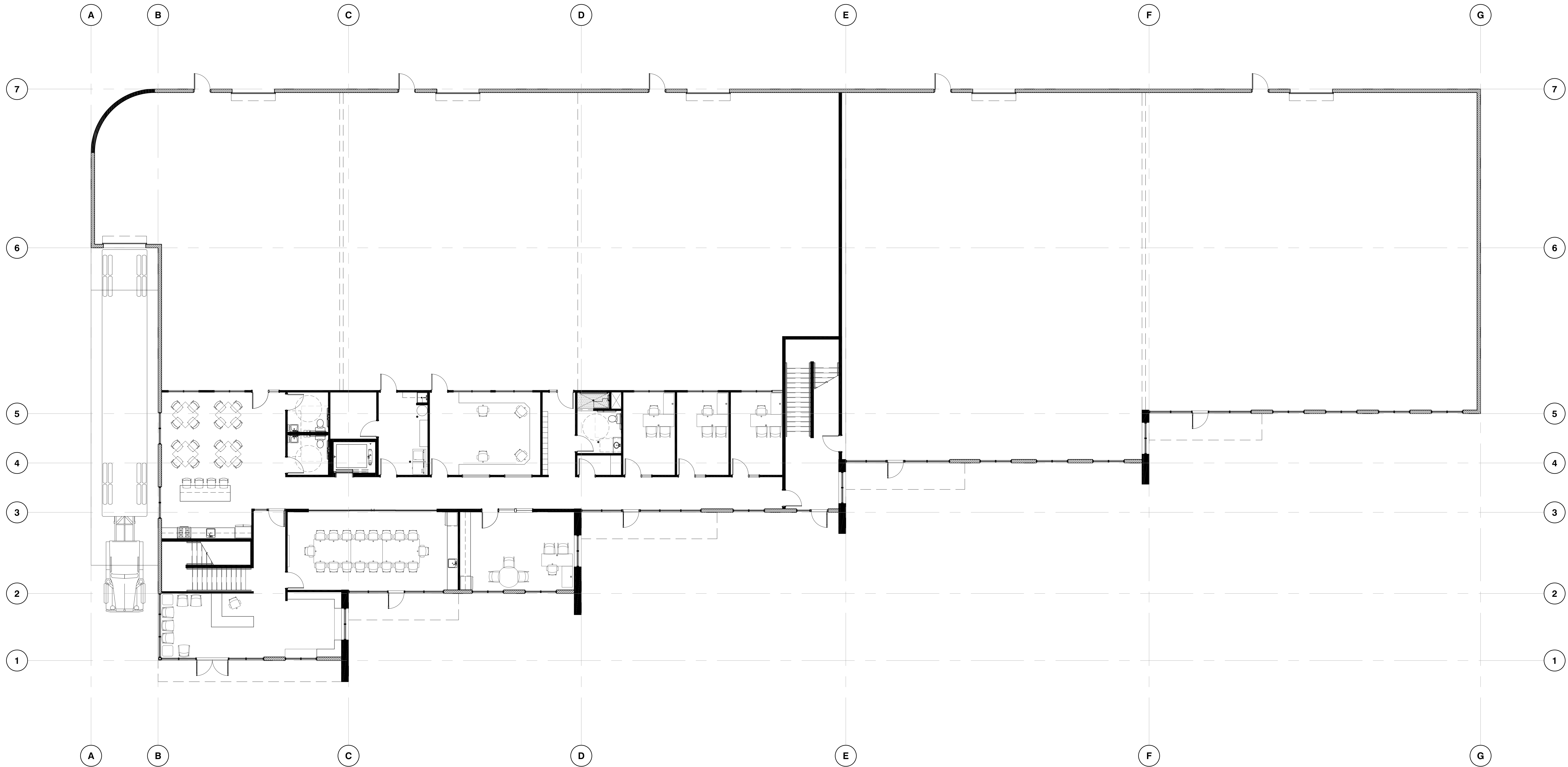
Existing Commercial Development along Lagoon Drive North of Burke Lane  
Example Architecture and Site Layout.







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**A** PROPOSED 1ST LEVEL FLOOR PLAN  
SCALE: 1/8" = 1'-0"



SHEET TITLE  
**1st Level  
Floor Plan**

REVISIONS

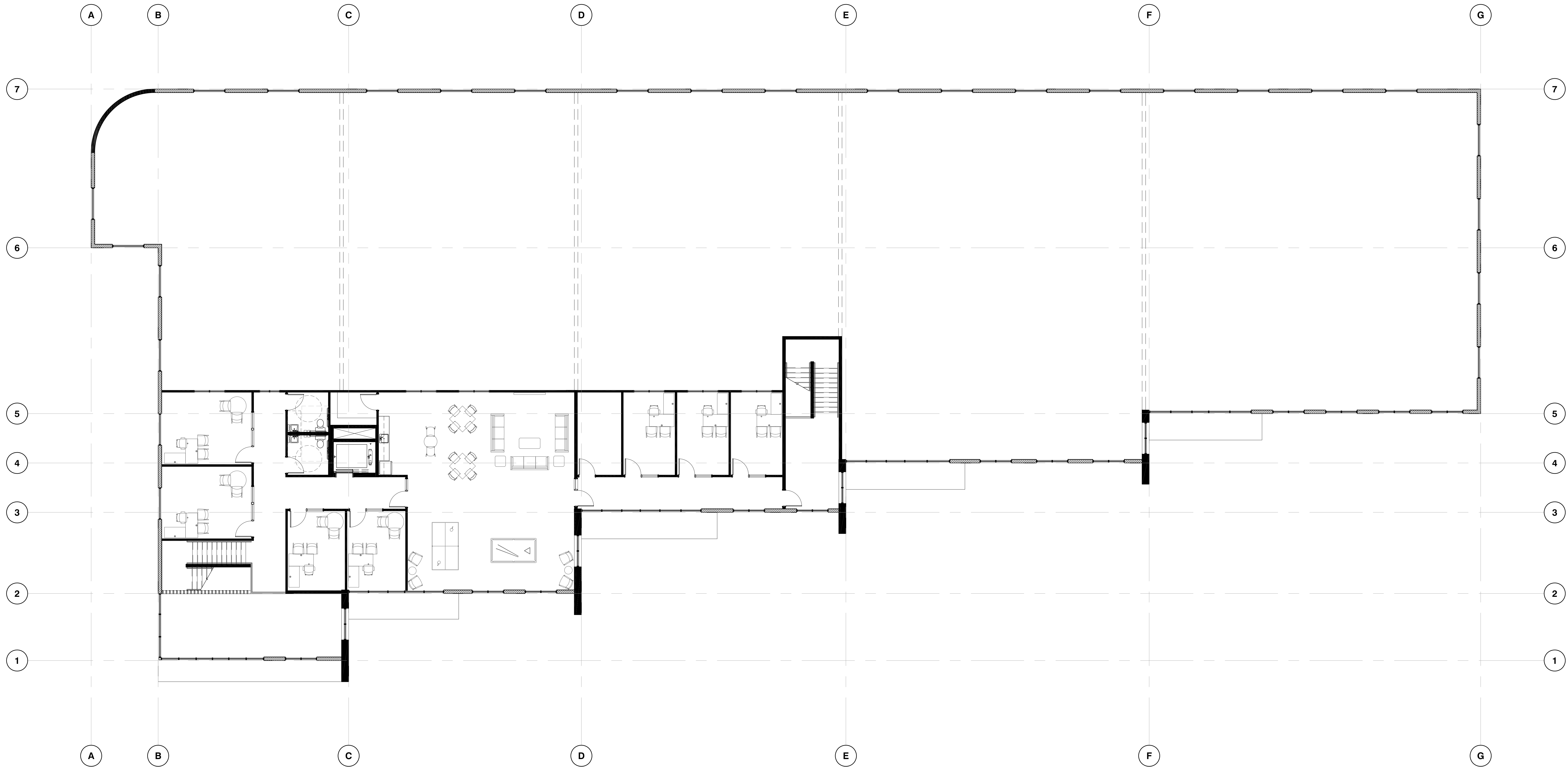
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DATE: March 2022  
SCALE: As Shown  
DRAWN BY: sj  
CHECKED: ppm

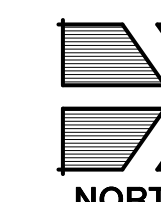
SHEET

<b>A101</b>
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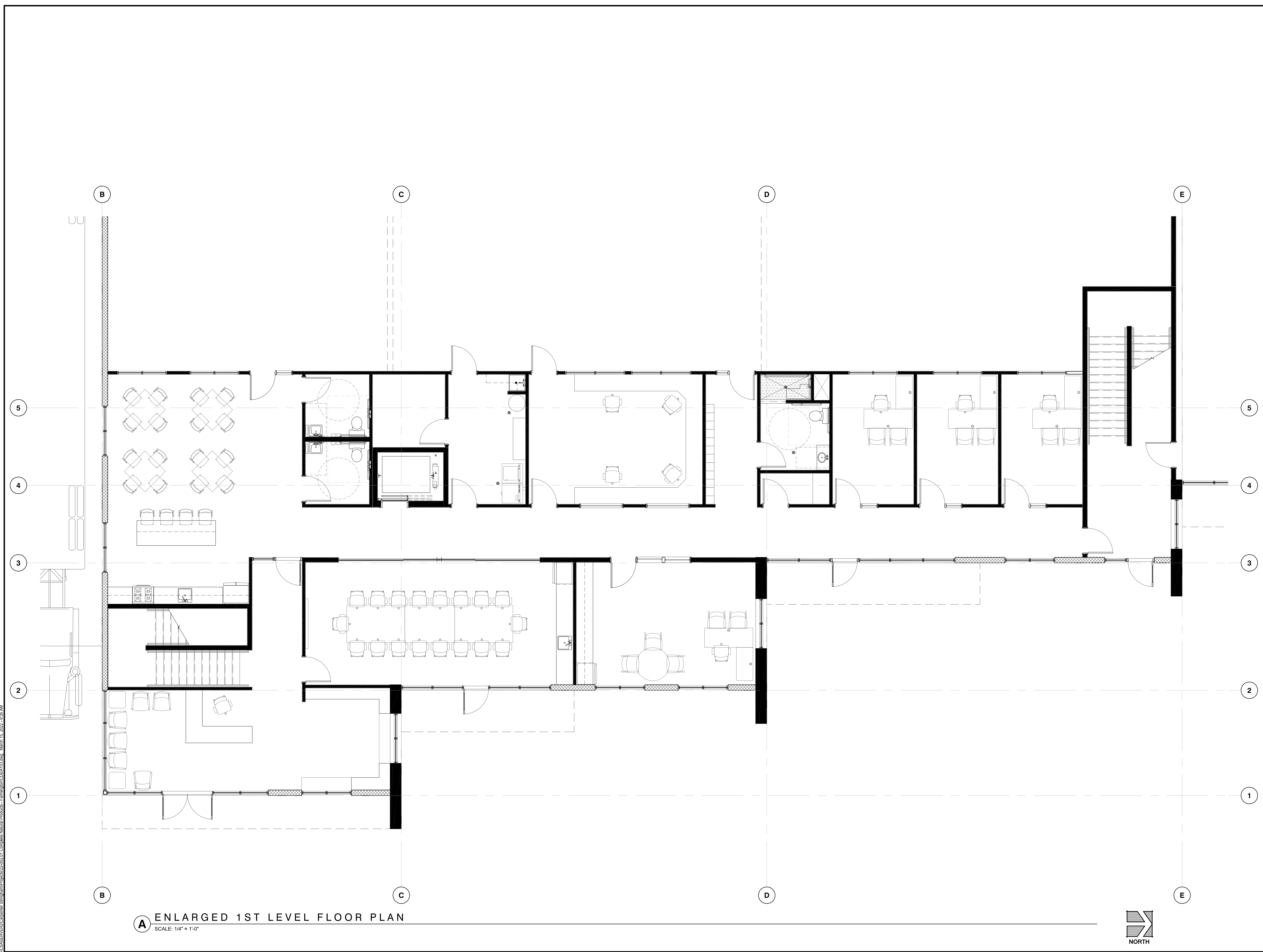
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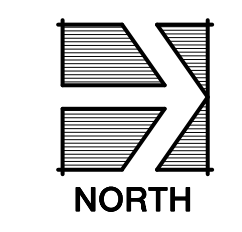
**A** PROPOSED 2ND LEVEL FLOOR PLAN  
SCALE: 1/8" = 1'-0"



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**A** ENLARGED 1ST LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0"



SHEET TITLE  
Enlarged 1st  
Lvl Floor Plan

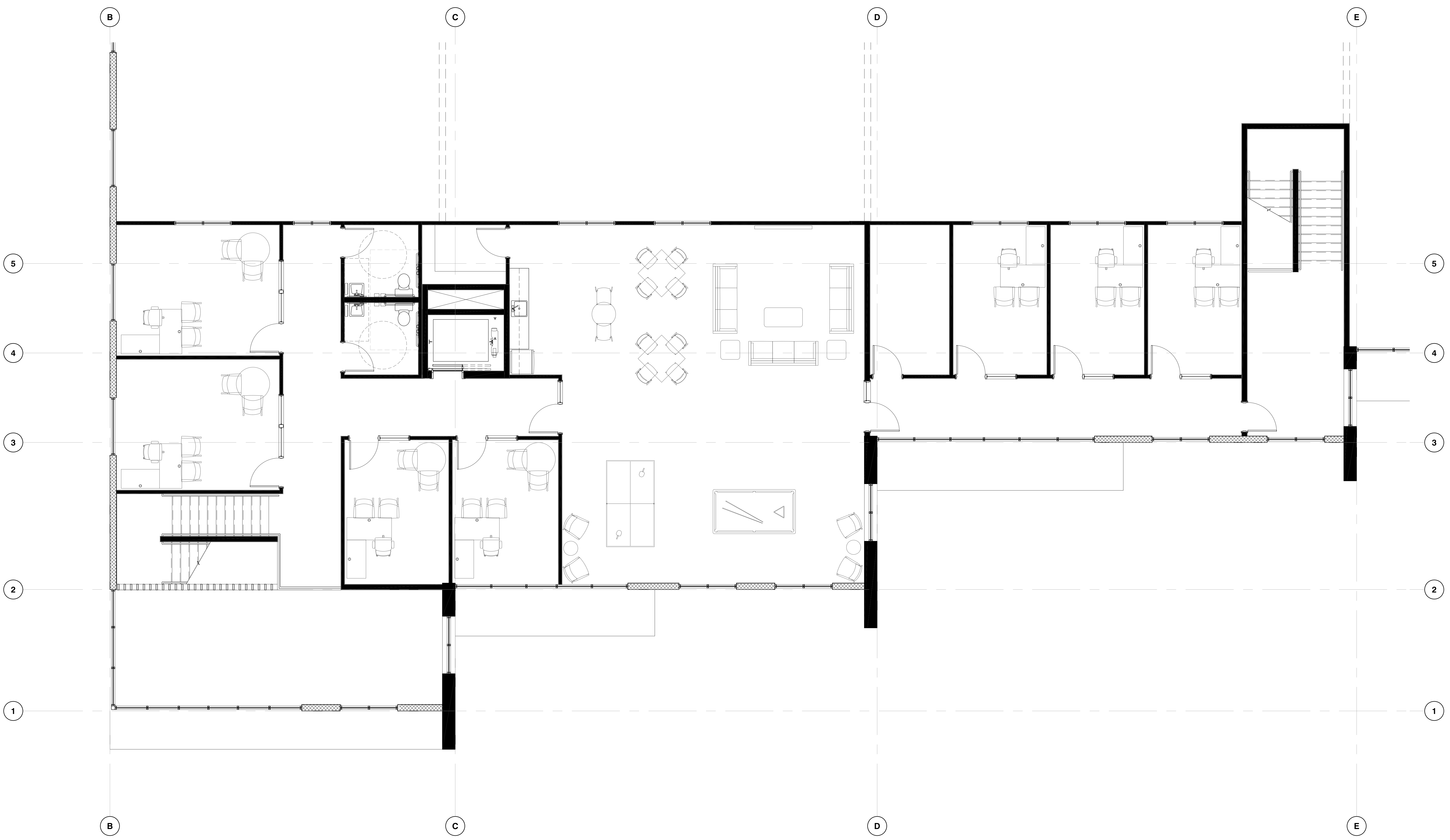
REVISIONS

NO.	DESCRIPTION	DATE

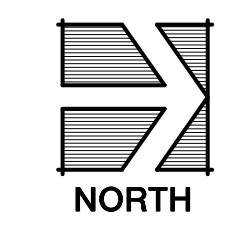
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DATE: March 2022  
SCALE: As Shown  
DRAWN BY: sj  
CHECKED: ppm


**A103**

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**A** ENLARGED 2ND LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0"



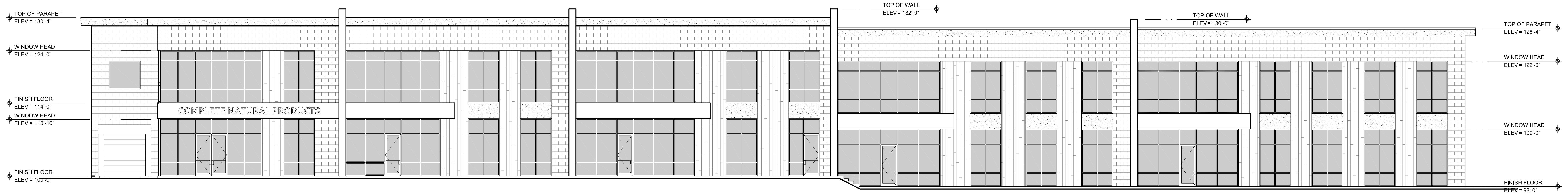
SHEET TITLE  
Enlarged 2nd  
Lvl Floor Plan

REVISIONS

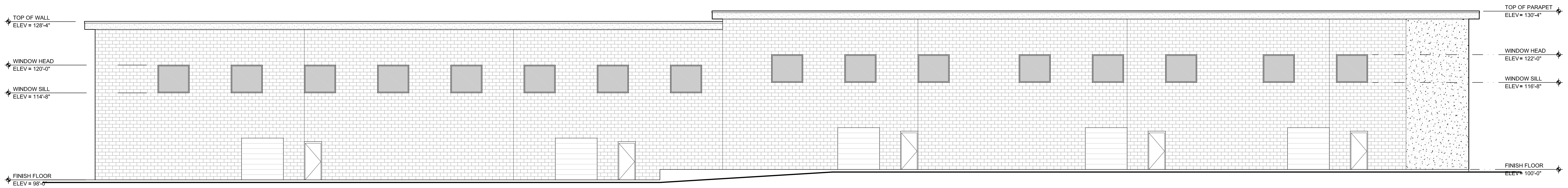
NO.	DESCRIPTION	DATE

PROJECT: 22-002.01  
DATE: March 2022  
SCALE: As Shown  
DRAWN BY: sj  
CHECKED: ppm

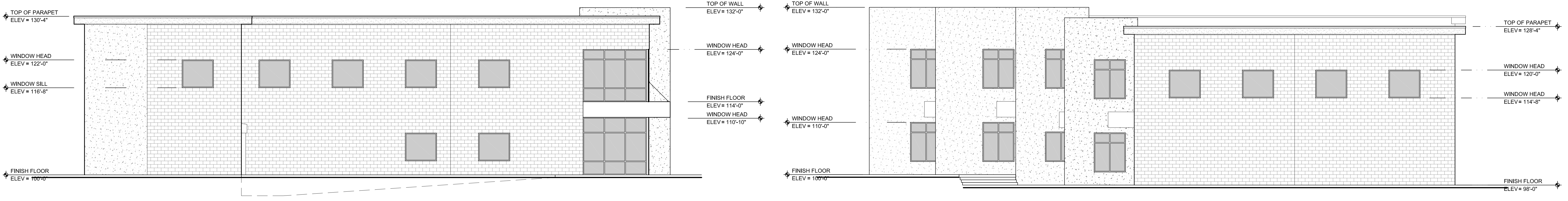
				SHEET
				<b>A104</b>



**A** PROPOSED EAST ELEVATION  
SCALE: 3/32" = 1'-0"



**B** PROPOSED WEST ELEVATION  
SCALE: 3/32" = 1'-0"



**C** PROPOSED SOUTH ELEVATION  
SCALE: 3/32" = 1'-0"

**D** PROPOSED NORTH ELEVATION  
SCALE: 3/32" = 1'-0"

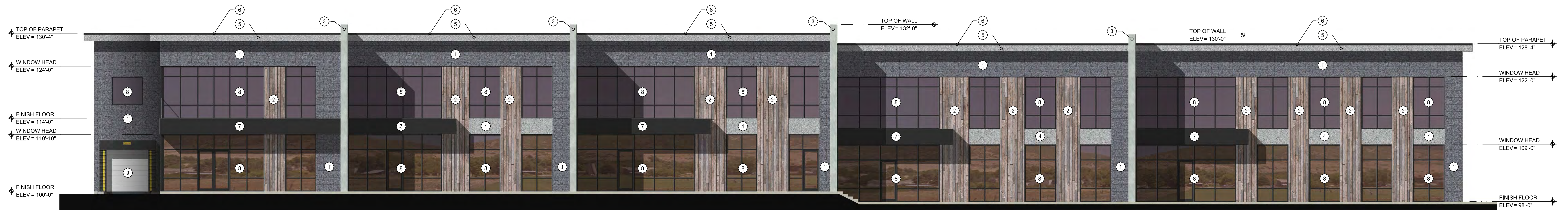
SHEET TITLE  
Exterior Elevations

REVISIONS

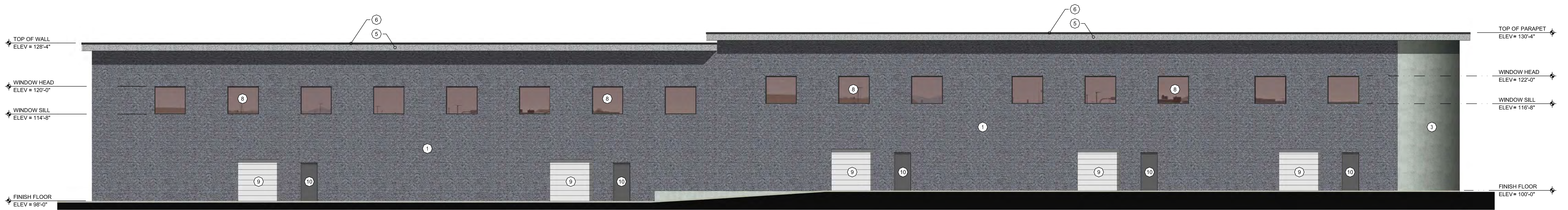
PROJECT: 22-002.01  
DATE: March 2022  
SCALE: As Shown  
DRAWN BY: sj  
CHECKED: ppm

SHEET  
**A201**

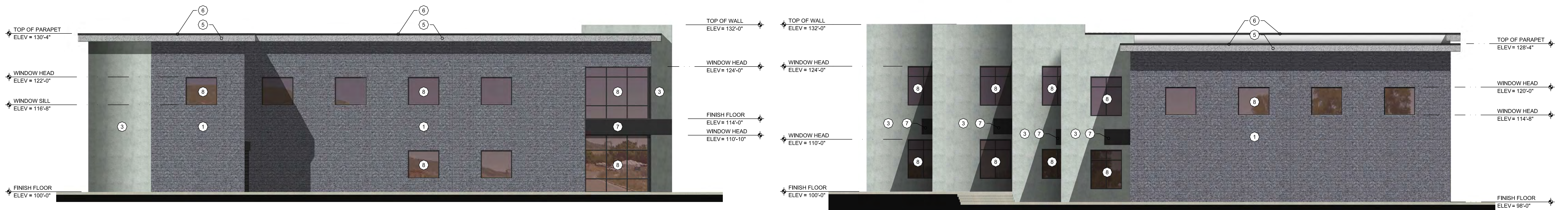
EXTERIOR FINISH KEY			
①	<b>SPLIT-FACE CMU</b> SUNROC INTEGRAL COLOR SPLIT-FACE CMU. COLOR: CHARCOAL	④	<b>EIFS VENEER</b> 1-1/2" EIFS VENEER; DRYVIT
②	<b>RECLAIMED WOOD SIDING</b> 6" WIDE RECLAIMED WOOD PLANKS (SEALED)	⑤	<b>EIFS FINISH PARAPET</b> 1-1/2" EIFS OVER SHAPED PARAPET; DRYVIT
③	<b>CONCRETE MASSING WALL</b> 16" THICK CONCRETE WALL - COLOR: NATURAL GRAY	⑥	<b>PRE-FINISHE METAL PARAPET CAP / TRIM</b> MBCI SIGNATURE 300 (OR EQUAL) COLOR: MATTE BLACK
		⑦	<b>STEEL CANOPY</b> STEEL CANOPY PAINTED; SHERWIN WILLIAMS; IRON ORE
		⑧	<b>ALUMINUM STOREFRONT SYSTEM</b> ALUMINUM STOREFRONT SYSTEM. BLACK ANODIZED FINISH w/ 1" INSULATED LOW-E GLAZING (TINTED BRONZE)
		⑨	<b>OVERHEAD METAL DOOR</b> BY DOOR MANUFACTURER
		⑩	<b>HOLLOW METAL DOOR / FRAME</b> INSULATED HOLLOW METAL DOOR / FRAME; SHERWIN WILLIAMS; IRON ORE



**A** PROPOSED EAST ELEVATION  
SCALE: 3/32" = 1'-0"



**B** PROPOSED WEST ELEVATION  
SCALE: 3/32" = 1'-0"



**C** PROPOSED SOUTH ELEVATION  
SCALE: 3/32" = 1'-0"

**D** PROPOSED NORTH ELEVATION  
SCALE: 3/32" = 1'-0"



**B** PROPOSED NORTHEAST VIEW - STREET VIEW  
SCALE: 3/32" = 1'-0"



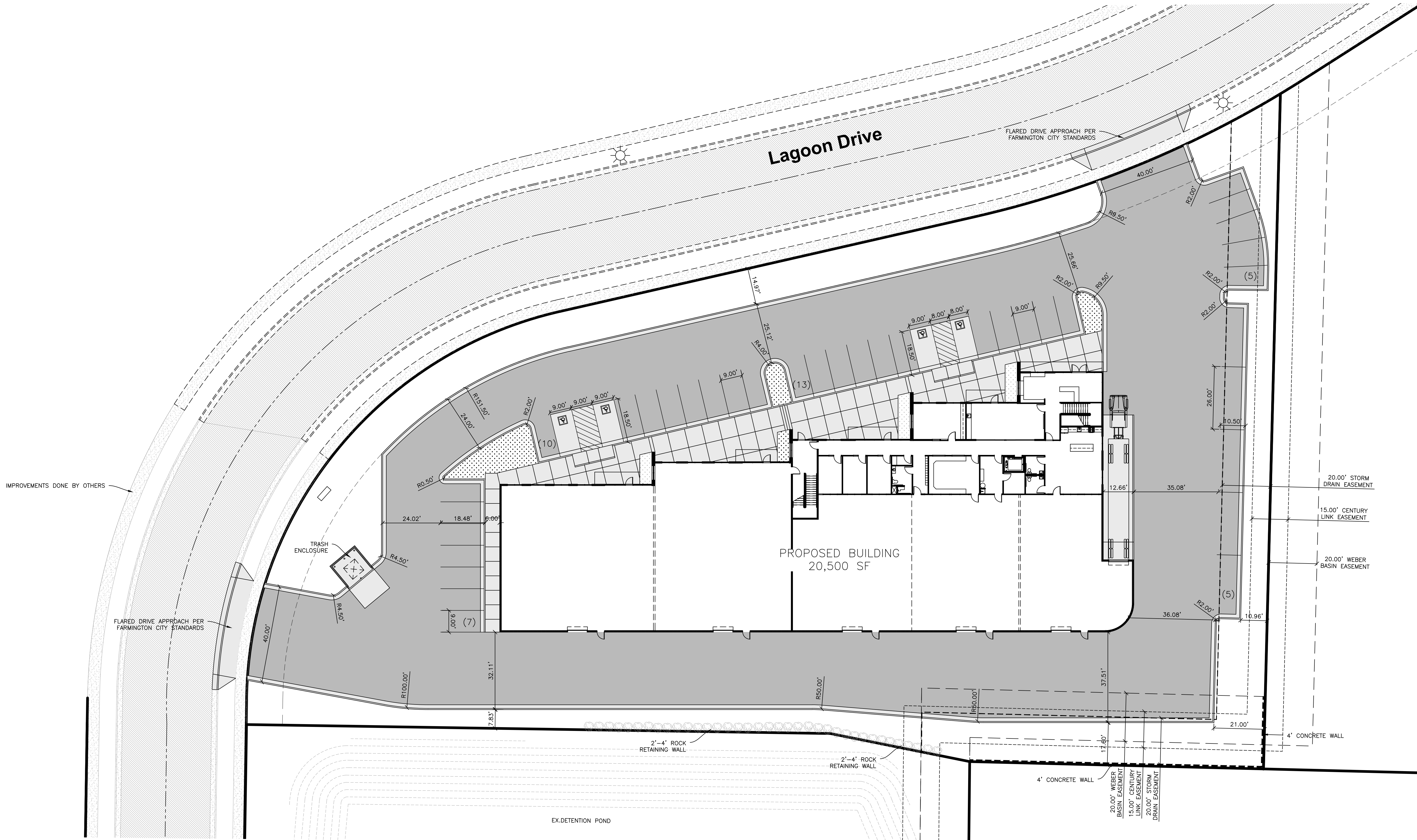
**A** PROPOSED SOUTHEAST VIEW - STREET VIEW  
NOT TO SCALE



**C** PROPOSED SOUTHEAST VIEW - AERIAL VIEW  
NOT TO SCALE

C:\SERVERS\ERC\Carpenter Stringham\Projects\22-002-01 Complete Natural Products - Farmington\04-01.dwg March 15, 2022 - 10:28 AM





Lagoon Drive

PROPOSED BUILDING  
20,500 SF

IMPROVEMENTS DONE BY OTHERS

FLARED DRIVE APPROACH PER  
FARMINGTON CITY STANDARDS

TRASH ENCLOSURE

EX.DETENTION POND

2'-4' ROCK  
RETAINING WALL

2'-4' ROCK  
RETAINING WALL

4' CONCRETE WALL

4' CONCRETE WALL

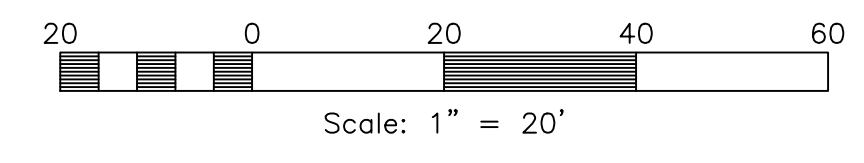
FLARED DRIVE APPROACH PER  
FARMINGTON CITY STANDARDS

20.00' STORM  
DRAIN EASEMENT

15.00' CENTURY  
LINK EASEMENT

20.00' WEBER  
BASIN EASEMENT

20.00' WEBER  
BASIN EASEMENT  
15.00' CENTURY  
LINK EASEMENT  
20.00' STORM  
DRAIN EASEMENT



Site Information	
LOCATED IN:	FARMINGTON CITY, DAVIS COUNTY
ORIGINAL PROPERTY:	1.86 ACRES
BUILDING AREA:	20,500 SF 25.2%
HARD SURFACE AREA:	44,277 SF 54.5%
LANDSCAPE AREA:	16,414 SF 20.2%
PARKING:	40 STALLS PROVIDED

**HE HUNT**  
ENGINEERING, LLC  
HUNT ENGINEERING, LLC  
6619 Willow Creek Rd.  
Mountain Green, UT 84050  
C. 801.664.4724  
thomas.hunt@hunt-engineering.com

**Complete Natural Products**  
NORTH 1/2, SEC 13, T3N, R1W, S1B&M  
FARMINGTON, DAVIS COUNTY, UTAH

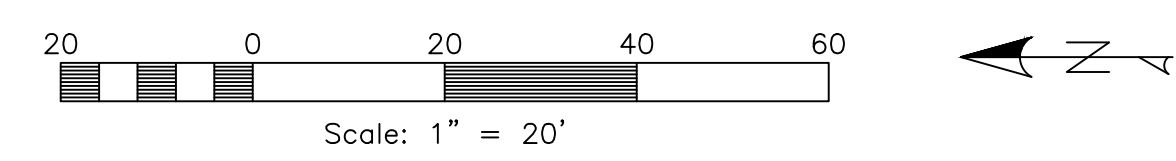
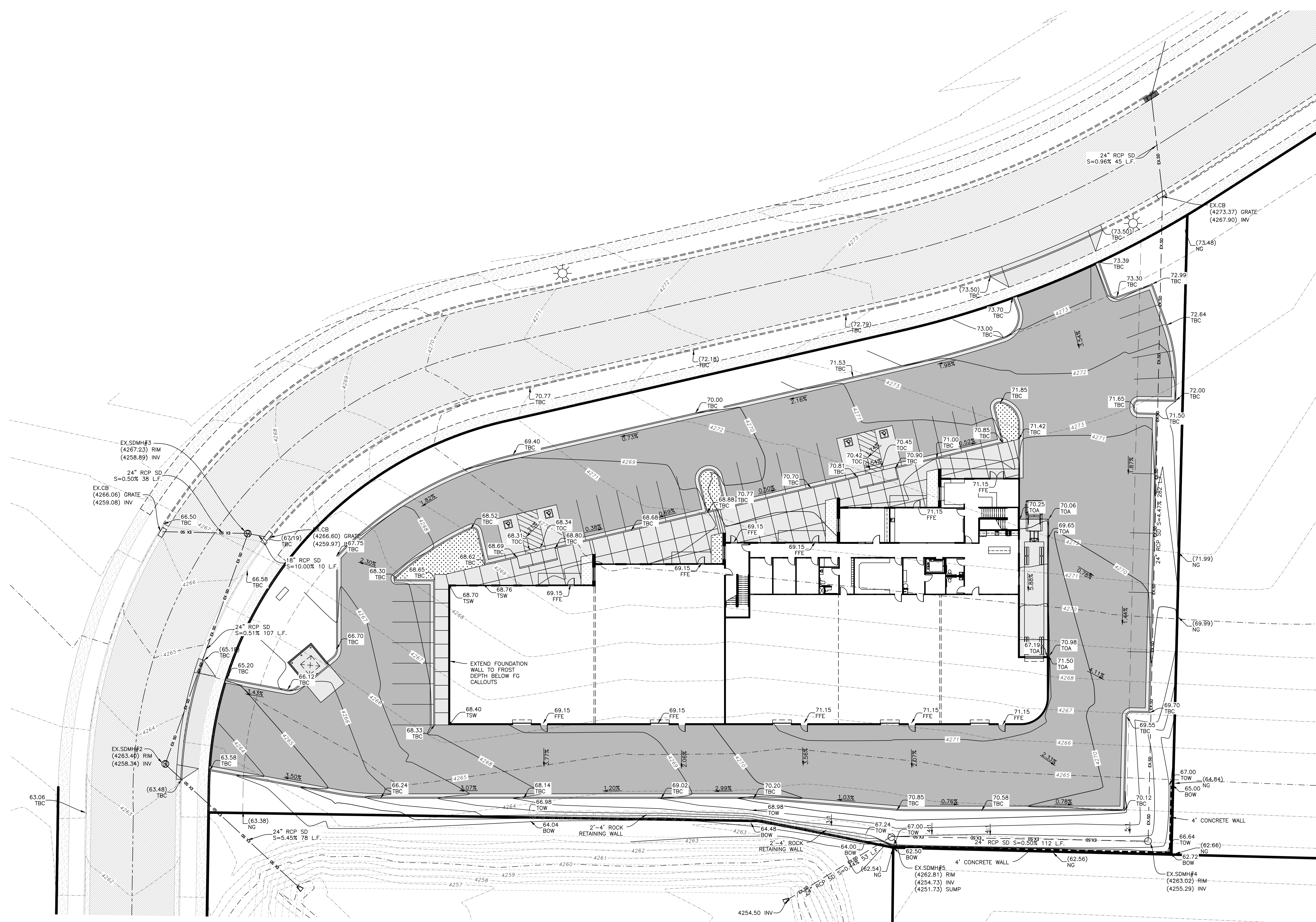
**Site Plan**

Revisions	Date

ENGINEERS STAMP  
PROFESSIONAL ENGINEER  
THOMAS J. HUNT  
04/07/2022  
STATE OF UTAH

PROJECT INFO.  
Engineer: T. HUNT  
Drafter: T. HUNT  
Start Date: 03/30/2022  
Name: Scot Poole

SHEET  
4 8  
SHEETS

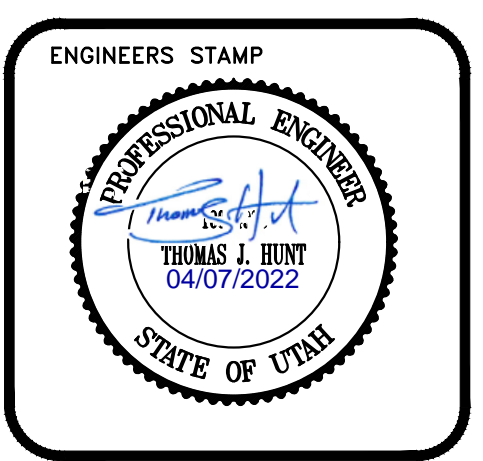


**Complete Natural Products**

NORTH 1/2, SEC 13, T3N, R1W, S1&2M  
FARMINGTON, DAVIS COUNTY, UTAH

**Grading & Drainage Plan**

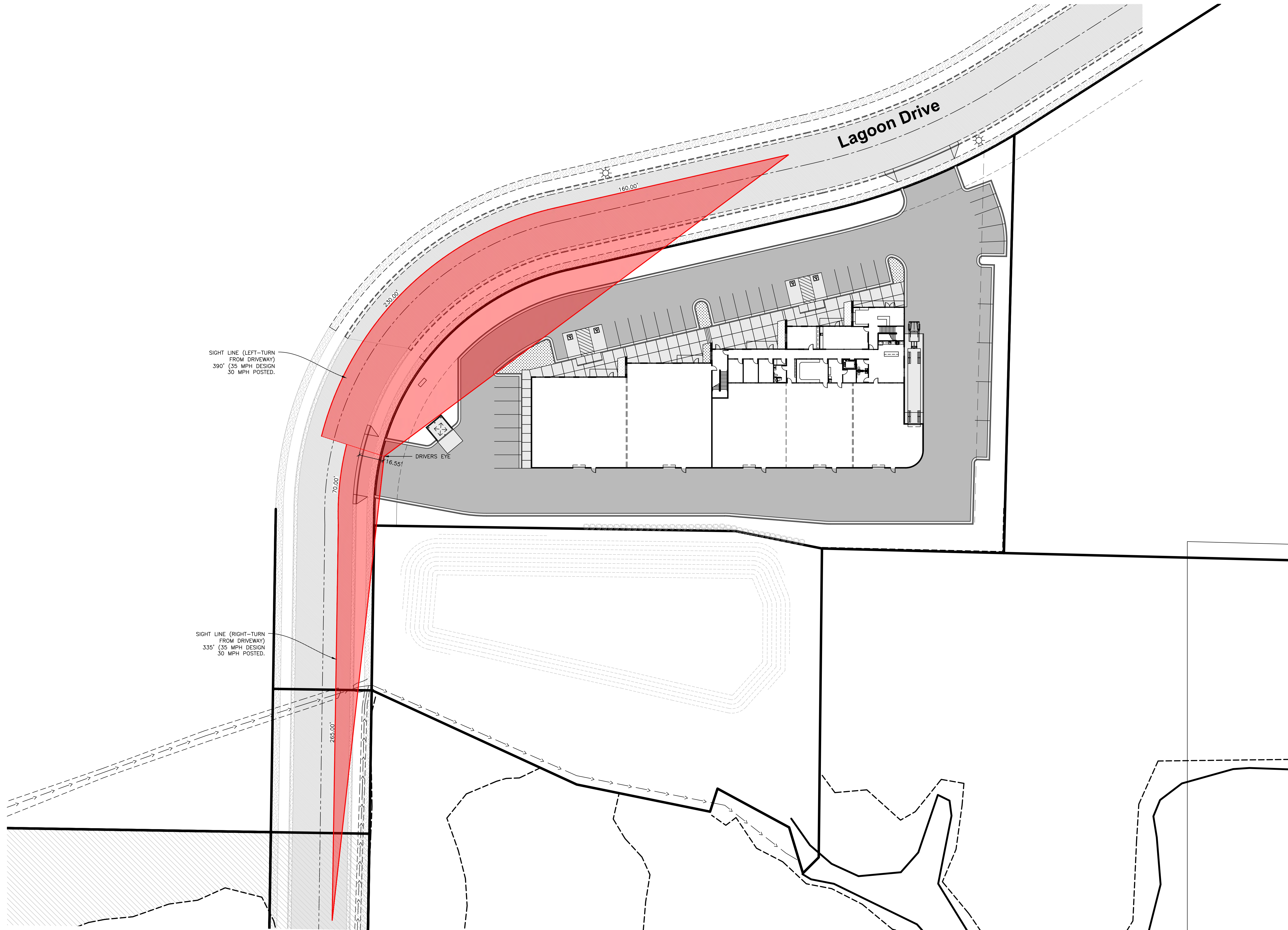
Revisions	Date



**PROJECT INFO.**

Engineer:	T. HUNT
Drafter:	T. HUNT
Start Date:	03/30/2022
Name:	Scot Poole

SHEET	8
5	SHEETS

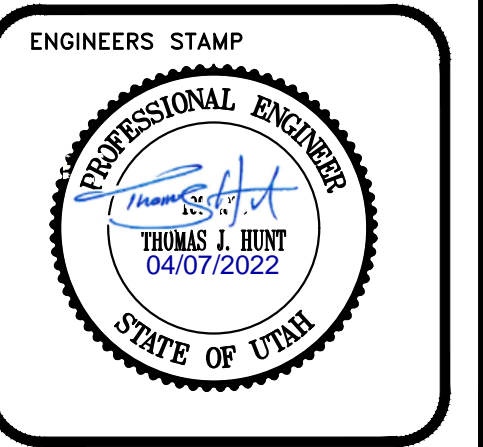


**Complete Natural Products**

NORTH 1/2, SEC 13, T3N, R1W, S1B&M  
FARMINGTON, DAVIS COUNTY, UTAH

**Sight Triangle Exhibit**

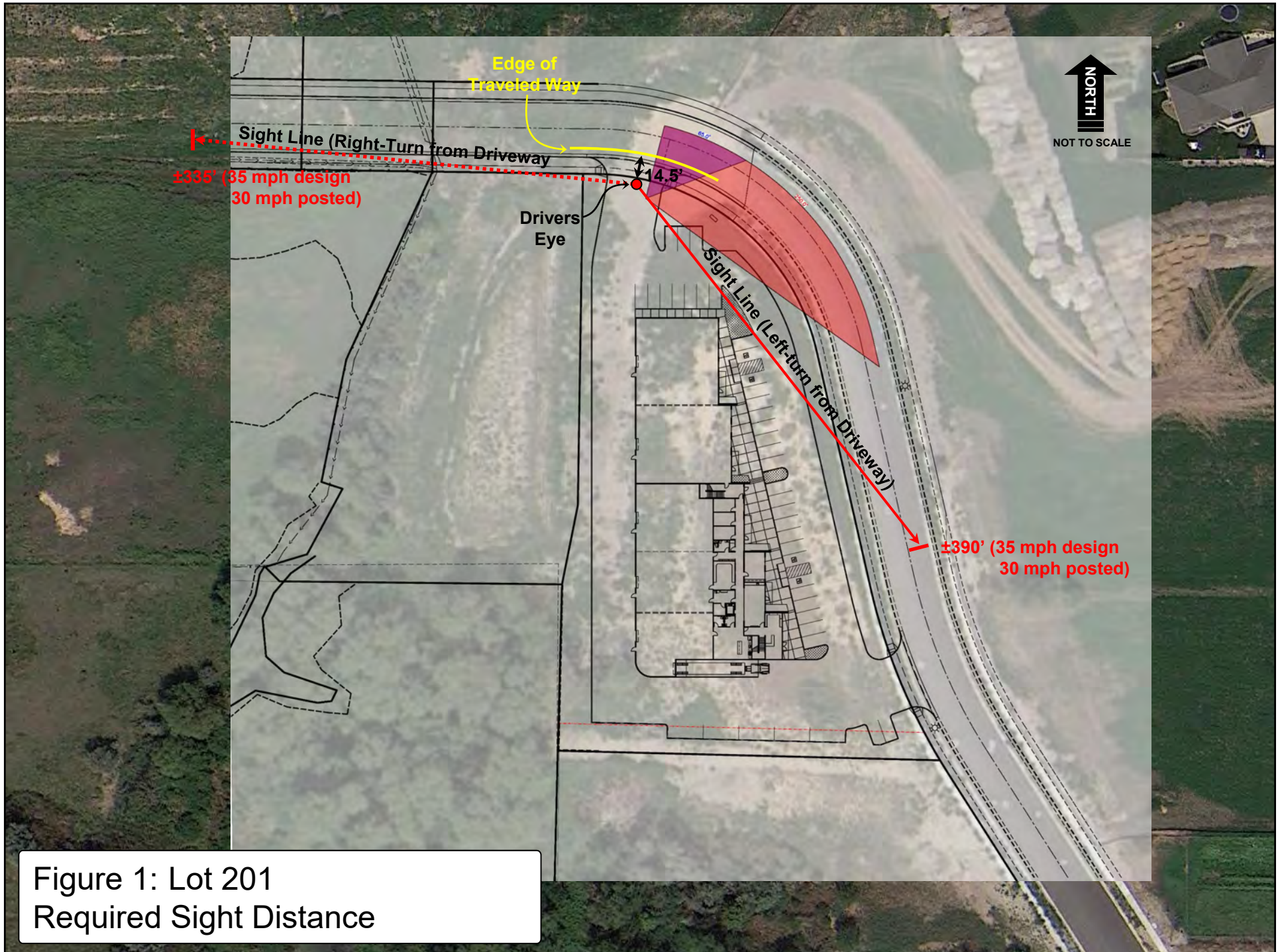
Revisions	Date



PROJECT INFO.

Engineer:	T. HUNT
Drafter:	T. HUNT
Start Date:	03/30/2022
Name:	Scot Poole

SHEET	1
1	SHEETS



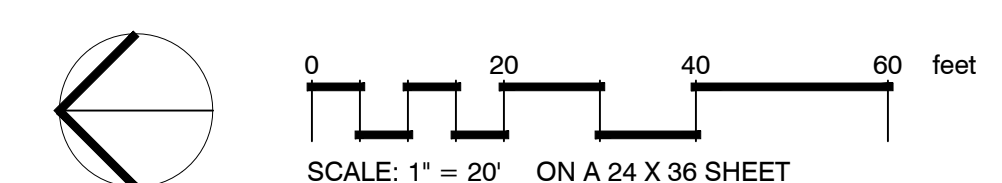
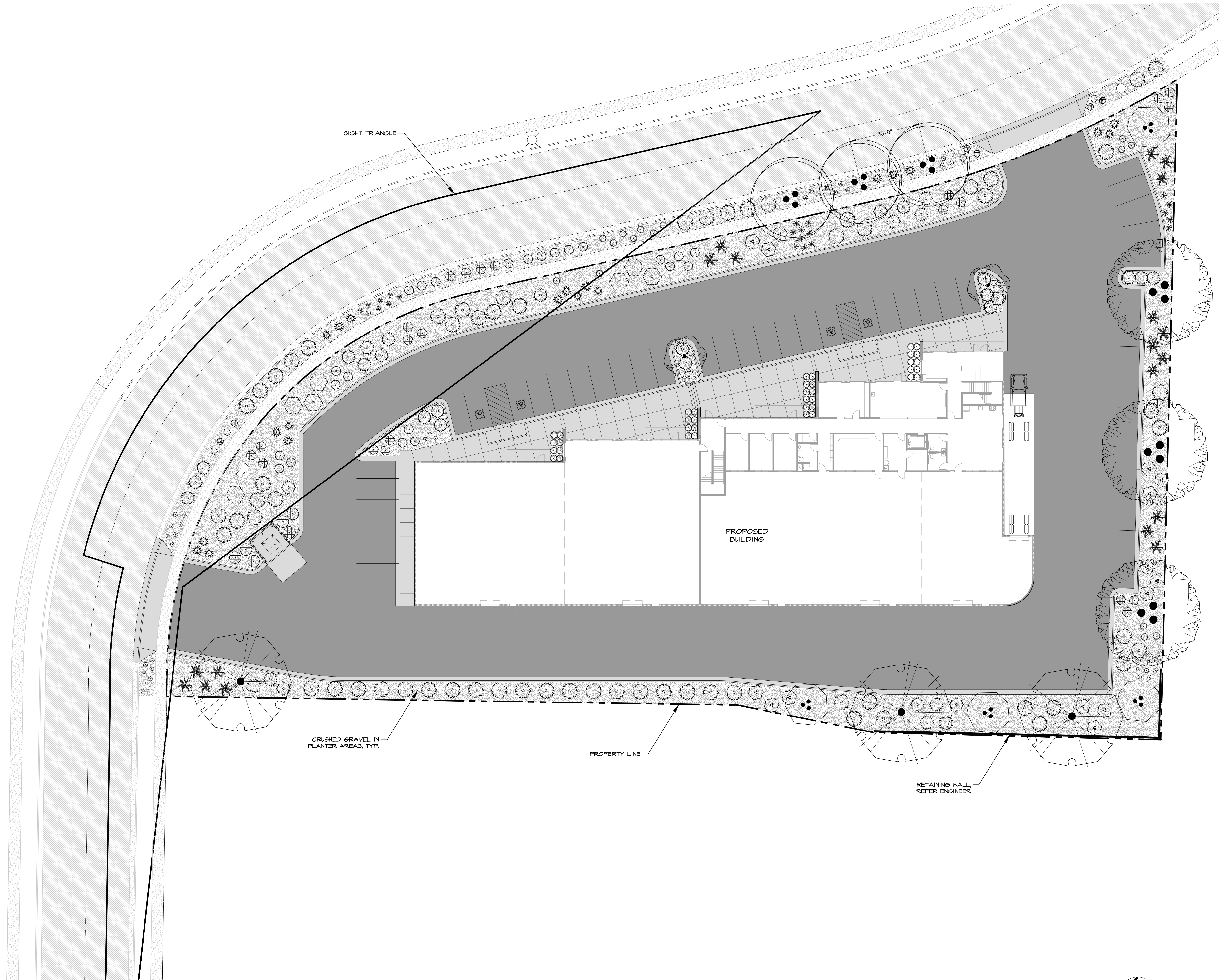
ISSUE DRAWING LOG

NO.	DATE	DESCRIPTION



TITLE  
 LANDSCAPE PLAN

SHEET NO.  
 L100



ISSUE DRAWING LOG










NO.	DATE	DESCRIPTION



TITLE  
PLANT SCHEDULE

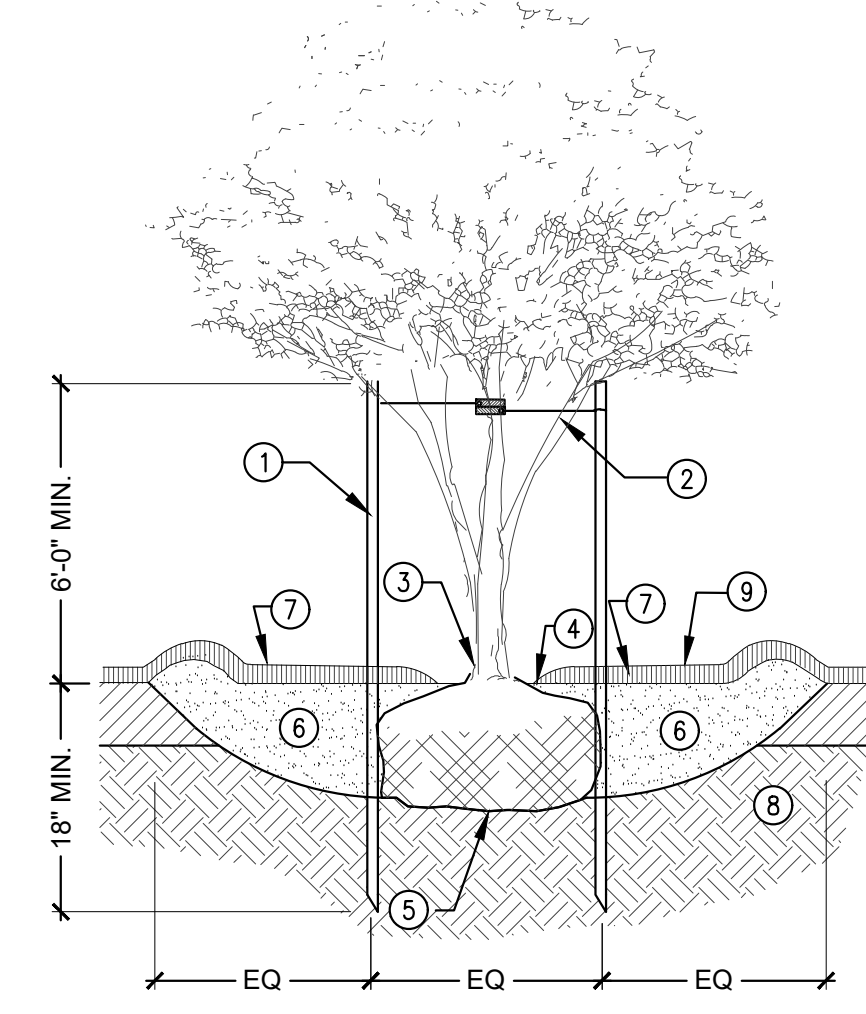
SHEET NO.  
L101

### PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT.	GAL.	QTY.
	FRAXINUS PENNSYLVANICA 'MARSHALL'S SEEDLESS' / MARSHALL'S SEEDLESS ASH	2"	GAL.	3
	MALUS X 'SPRING SNOW' / SPRING SNOW CRABAPPLE	2"	GAL.	2
	TILIA CORDATA / LITTLELEAF LINDEN	2"	GAL.	3
	ZELKOVA SERRATA 'GREEN VASE' / GREEN VASE ZELKOVA 60" TALL BY 70" WIDE AT MATURITY	B & B	2" GAL.	3
SHRUBS	BOTANICAL / COMMON NAME	SIZE	FIELD2	QTY.
	AMELANCHIER ARBOREA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE SERVICEBERRY	5 GAL.		4
	CYTISUS SCOPARIUS / SCOTCH BROOM	5 GAL.		19
	EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH	5 GAL.		15
	FORSYTHIA X INTERMEDIA 'LYNWOOD GOLD' / LYNWOOD GOLD FORSYTHIA	5 GAL.		7
	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL.		20
	JUNIPERUS HORIZONTALIS 'BLUE RUG' / BLUE RUG JUNIPER	5 GAL.		37
	POTENTILLA FRUTICOSA / BUSH CINQUEFOIL	5 GAL.		10
	RHAMNUS FRANSULA 'COLUMNARIS' / TALL HEDGE BUCKTHORN	5 GAL.		6
	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL.		65
	SPIRAEA X BUMALDA 'GOLDFLAME' / GOLDFLAME SPIREA	5 GAL.		22
	WEIGELA FLORIDA 'MINJET' / MINJET WEIGELA	5 GAL.		23
ANNUALS/PERENNIALS	BOTANICAL / COMMON NAME	SIZE	FIELD2	QTY.
	CENTRANTHUS RUBER 'ALBIFLOROUS' / JUPITER'S BEARD	1 GAL.		29
	SALVIA X SYLVESTRIS 'MAY NIGHT' / MAY NIGHT SALVIA	1 GAL.		15
GRASSES	BOTANICAL / COMMON NAME	SIZE	FIELD2	QTY.
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL.		53
	HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS	1 GAL.		14

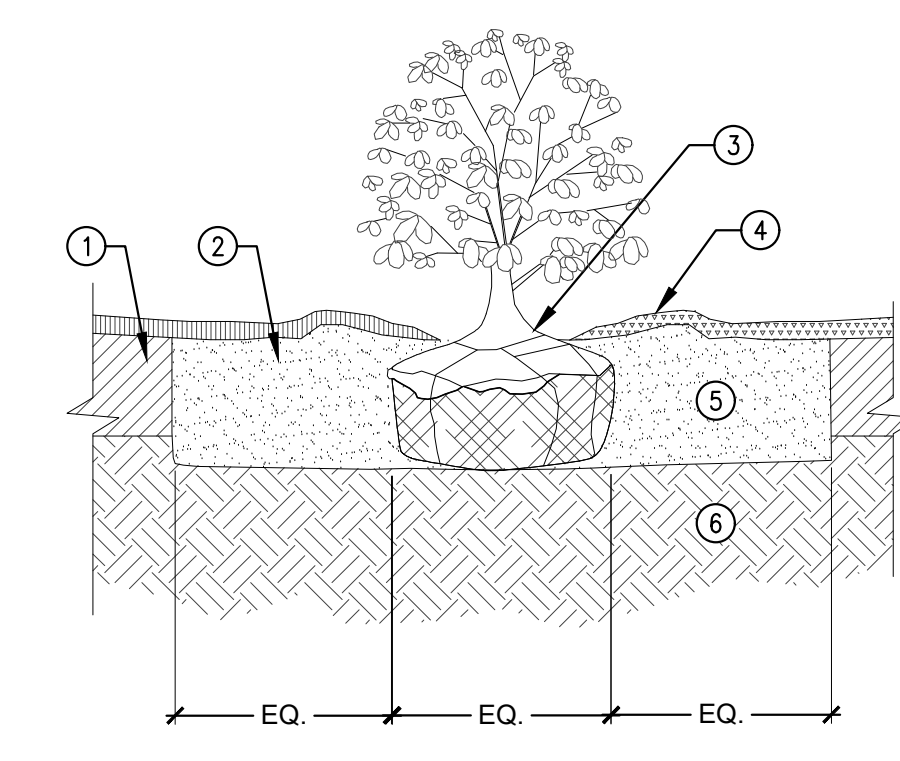
NOTES:  
1. INSTALL TREE PLUMB  
2. FOR ALL FALL PLANTING, WRAP TRUNK TO LOWEST BRANCH, REMOVE THE FOLLOWING SPRING.

- 2" DIA. (ROUND) FIR POSTS; 2 PER TREE; ALL POSTS SHALL BE PLUMB AND HAVE SAME HEIGHT ABOVE FINISH GRADE.
- GALVANIZED WIRE CABLE LOOPED THROUGH 1" GROMMETED NYLON WEBBING AROUND TRUNK; SECURE BY TWISTING UNTIL TAUT
- TOP OF ROOTBALL SHALL BE 1'-2" ABOVE FINISHED GRADE
- ROOT FLARE SHALL BE EXPOSED; MULCH SHOULD NOT BE WITHIN 4" OF TREE TRUNK
- PLACE BALL ON UNDISTURBED SUBSOIL; CUT WIRE BASKET AND REMOVE AND DISCARD BURLAP OR OTHER SOD WRAPPING MATERIALS FOR TOP 1/3 OF ROOTBALL.
- EXCAVATE HOLE TO DIAMETER 3X WIDER THAN ROOTBALL; BACKFILL WITH PLANTING SOIL MIX
- BARK MULCH, DEPTH AS SPECIFIED.
- UNDISTURBED SUBGRADE
- 5' DIA. DEPRESSED WATERING BASIN.



1 DECIDUOUS TREE WITH STAKING  
NTS

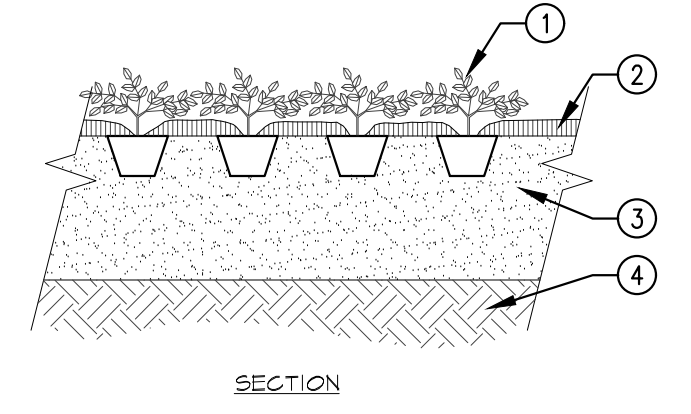
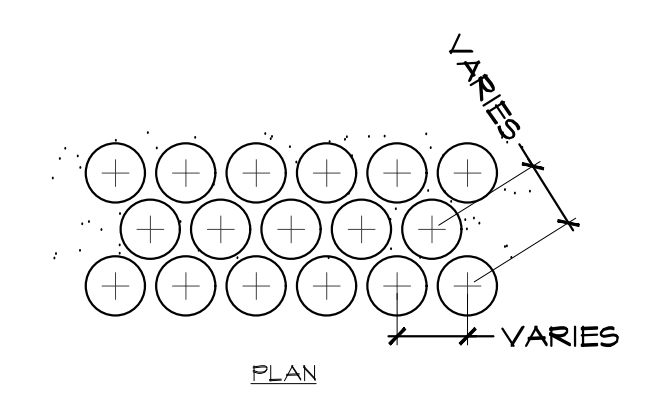
- PLANTING SOIL MIX
- BARK MULCH
- SET ROOT FLARE 2" HIGHER THAN FINISH GRADE TO ALLOW FOR SETTLING
- BEGIN TO FORM DEPRESSED WATERING BASIN
- PLANTING SOIL MIX
- UNDISTURBED SUBGRADE



2 SHRUB  
NTS

NOTES:  
1. PLACE BALL ON UNDISTURBED SUBGRADE; REMOVE AND DISCARD WRAPPING MATERIAL EXCEPT UNDER BALL.  
2. SETTLE PLANT BY FILLING PLANTING PIT WITH WATER USING HOSE OR BUCKET.  
3. MULCH SHOULD NOT BE WITHIN 4" OF TRUNK.  
4. REMOVE WATERING BASIN PRIOR TO END OF MAINTENANCE PERIOD.

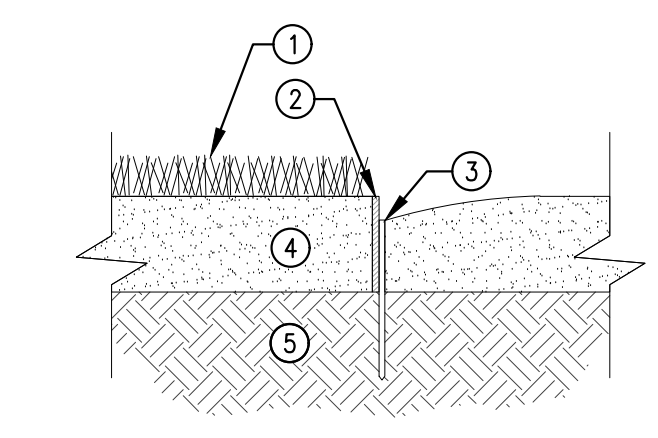
- GROUND COVER/PERENNIALS (SEE NOTE)
- 3-4" MIN BARK MULCH OR GRAVEL, PER PLAN
- PLANTING SOIL MIX
- UNDISTURBED SUBGRADE



3 GROUND COVER / PERENNIAL  
NTS

NOTE:  
1. SEE PLANTING LEGEND FOR SPACING

- TURF PER PLANTING PLAN
- STEEL EDGING
- STEEL STAKE ENSURE SMOOTH CURVES AND/OR STRAIGHT LINES
- PLANTING SOIL MIX
- UNDISTURBED SUBGRADE



4 EDGING - CUSTOM METAL  
NTS

NOTE:  
EDGING TO BE 1/2" ABOVE FINISH GRADE

### PLANTING NOTES

- THE BASE INFORMATION FOR THIS DRAWING WAS OBTAINED FROM OTHERS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE DRAWING WITH ACTUAL FIELD CONDITIONS PRIOR TO BEGINNING ANY WORK, AND IMMEDIATELY NOTIFYING THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. IN THE EVENT THAT THE CONTRACTOR BEGINS WORK PRIOR TO VERIFYING AND COMPARING THE BASE INFORMATION WITH ACTUAL FIELD CONDITIONS, THEN ANY CHANGES OR ALTERATIONS TO THE OR ALTERATIONS TO THE WORK INVOLVED WITH THESE DRAWINGS DUE TO SUCH DISCREPANCIES WILL BE PERFORMED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND MARKING THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF WORK PRIOR TO BEGINNING CONSTRUCTION. CONTACT THE OWNER, BLUE STAKES OF UTAH (1-800-662-4111), AND ALL OTHER ENTITIES AS NECESSARY. IN THE EVENT THAT THE CONTRACTOR BEGINS WORK PRIOR TO VERIFYING AND STAKING ALL UTILITIES, AND DAMAGE TO UTILITIES OCCURS, THE DAMAGED UTILITIES WILL BE PREPARED AND/OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- IF PROVIDED, REFER TO LEGENDS, NOTES, DETAILS, AND SPECIFICATIONS FOR FURTHER INFORMATION.
- ANY ALTERATIONS TO THESE ACTUAL PLANTING PLANS DURING CONSTRUCTION SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT AND RECORDED ON 'AS BUILT' DRAWINGS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN NURSERY ASSOCIATION, INC.
- ALL PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE NOTED ON THE PLANT LIST.
- QUANTITIES INDICATED IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES, AND SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING DESIGN SHOWN ON THE PLANS, REGARDLESS OF QUANTITIES INDICATED IN THE PLANT SCHEDULE.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE ONLY AS APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ANY TURF AREAS SHALL RECEIVE 6" OF PLANTING SOIL MIX, AND ALL PLANT BEDS SHALL RECEIVE 12" OF PLANTING SOIL MIX AS SPECIFIED. BACKFILL ALL PLANTING PITS WITH PLANTING SOIL MIX.
- ANY GROUND COVER AREAS SHALL RECEIVE 1-1/2" OF FINE TEXTURED SOIL AID/SOIL PEP.
- PRUNE ANY TREES NEXT TO SIDEWALKS TO A MINIMUM HEIGHT OF 7' FOR A CLEAR WALKING PATH.



## Planning Commission Staff Report May 19, 2022

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### Item 8: Farmington Station Parkway Phase II –Schematic Subdivision Plan and Schematic Site Plan

Public Hearing:	Yes
Application No.:	S-13-22, SP-6-22
Property Address:	595 N Station Parkway
General Plan Designation:	TMU (Transit Mixed Use)
Zoning Designation:	OMU
Area:	5.2 Acres
Number of Lots:	2
Property Owner:	Jerry C Cook Trustees
Agent:	Dharmesh Ahir

Request: *Applicant is requesting recommendations for approval for Schematic Subdivision and approval of Schematic Site Plan.*

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#### **Background Information**

Farmington Station Parkway Phase II is a proposed two-lot, one parcel subdivision located in the OMU zone on the west/south side of the curve of Station Parkway and Burke Lane. The applicant has proposed the southern lot, Lot 201, as a hotel use. Lot 202 does not currently have a proposal but will follow the OMU zoning. Finally, there is a remainder parcel northwest of Shepard Creek, which will remain as a parcel until such time as it developed.

#### **Suggested Motion**

Move that the Planning Commission recommend the City Council approve the schematic subdivision plan, and approve the schematic site plan, subject to all applicable Farmington City development standards and ordinances, and the following:

1. The City Council must amend the Zoning Ordinance to allow the placement of parking (and porte-cochere's) as a special exception to standard building/parking placement requirements in Chapter 18, but do so for hospitality uses only.

2. The southeast access to the site on Cook Lane is too close to the intersection of Station Parkway and Cook Lane. The applicant must reconfigure this area of the site plan in a layout acceptable to the City.
3. Applicant must provide permanent interior access to Lot 1 from Lot 2 and vice-versa as per standards in Chapter 7 of the Zoning Ordinance.
4. The owner shall meet all City standards, including but not limited to present and future DRC (Development Review Committee) comments.
5. The Trail alignment and final configuration of the open space, including the OS Zone, must be finalized prior to final plat and final site plan approval for the project.

Findings:

1. The applicant adds another hotel use for visitors to Farmington, which enhances the local economy of the City.
2. The project is consistent with the City's Master Plan, and meets the goals and purposes of the Zoning Ordinance.
3. The development proposal improves the Shepard Creek Trail connection, and provides open space, from Cook Lane to Station Parkway.

**Supplemental Information**

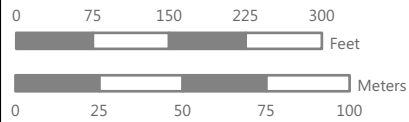
1. Vicinity Map
2. Schematic Subdivision Plan
3. Schematic Site Plan
4. Building elevations (to be presented at the Planning Commission meeting)





# VICINITY MAP

## Farmington Station Parkway Phase II

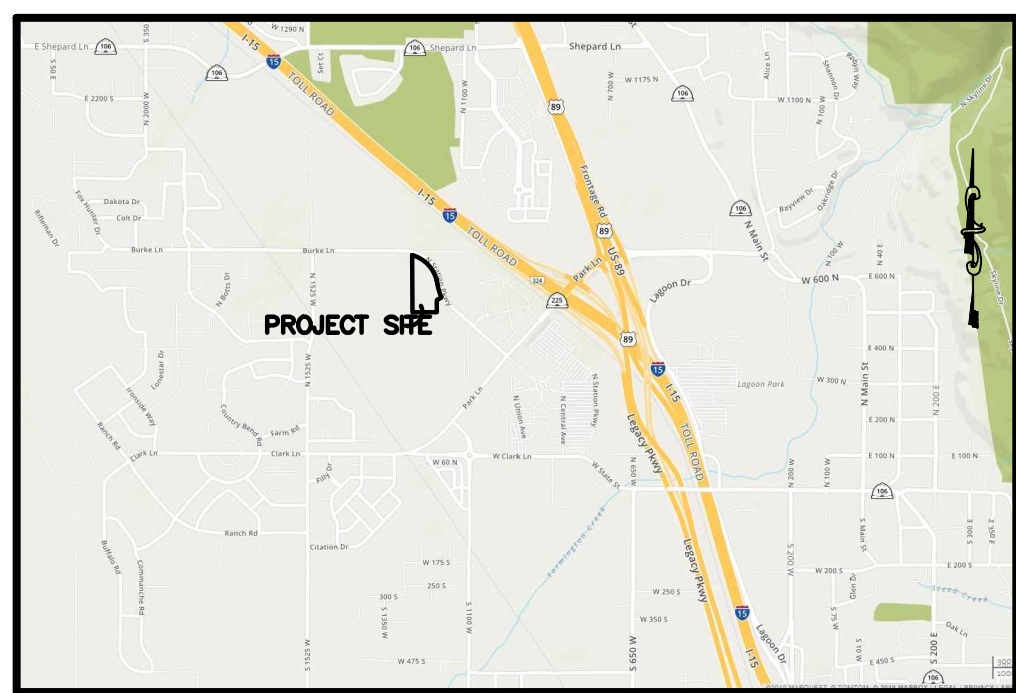


Disclaimer: This map was produced by Farmington City GIS and is for reference only. The information contained on this map is believed to be accurate and suitable for limited uses. Farmington City makes no warranty as to the accuracy of the information contained for any other purposes.

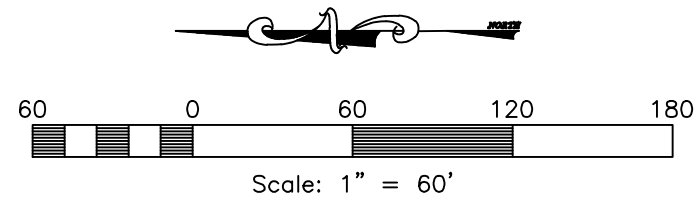
SHEET 1 OF 1

# FARMINGTON STATION PARKWAY PHASE 2

PART OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, U.S. SURVEY  
 FARMINGTON CITY, DAVIS COUNTY, UTAH  
 APRIL, 2022



VICINITY MAP  
 SCALE: NONE



### SITE CONTROL PER NAVD-88 VERTICAL DATUM

POINT	DESCRIPTION	NORTHING	EASTING	ELEVATION
CP-1	BCM	3519409.50	1526881.95	4239.78'
CP-2	BCM	3522046.39	1526881.68	4254.14'

**SURVEYOR'S CERTIFICATE**  
 I, **TREVOR J. HATCH**, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THAT THIS PLAT OF **FARMINGTON STATION PARKWAY PHASE 2** IN **FARMINGTON CITY, DAVIS COUNTY, UTAH**, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE **DAVIS COUNTY** RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND, I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF **FARMINGTON CITY, DAVIS COUNTY** CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

9031945  
 UTAH LICENSE NUMBER **TREVOR J. HATCH**

**OWNERS DEDICATION AND CERTIFICATION**  
 WE, THE UNDERSIGNED, OWNERS OF THE HEREON-DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO A LOT AND PUBLIC STREET AS SHOWN ON THIS PLAT, AND NAME SAID TRACT OF LAND **FARMINGTON STATION PARKWAY PHASE 2**, AND HEREBY DEDICATE, GRANT AND CONVEY TO FARMINGTON CITY, DAVIS COUNTY, UTAH ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS PUBLIC STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER, AND ALSO DEDICATE TO FARMINGTON CITY THOSE CERTAIN STRIPS OR EASEMENTS FOR PUBLIC UTILITY PURPOSES, AS SHOWN HEREON, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES, AS MAY BE AUTHORIZED BY FARMINGTON CITY.

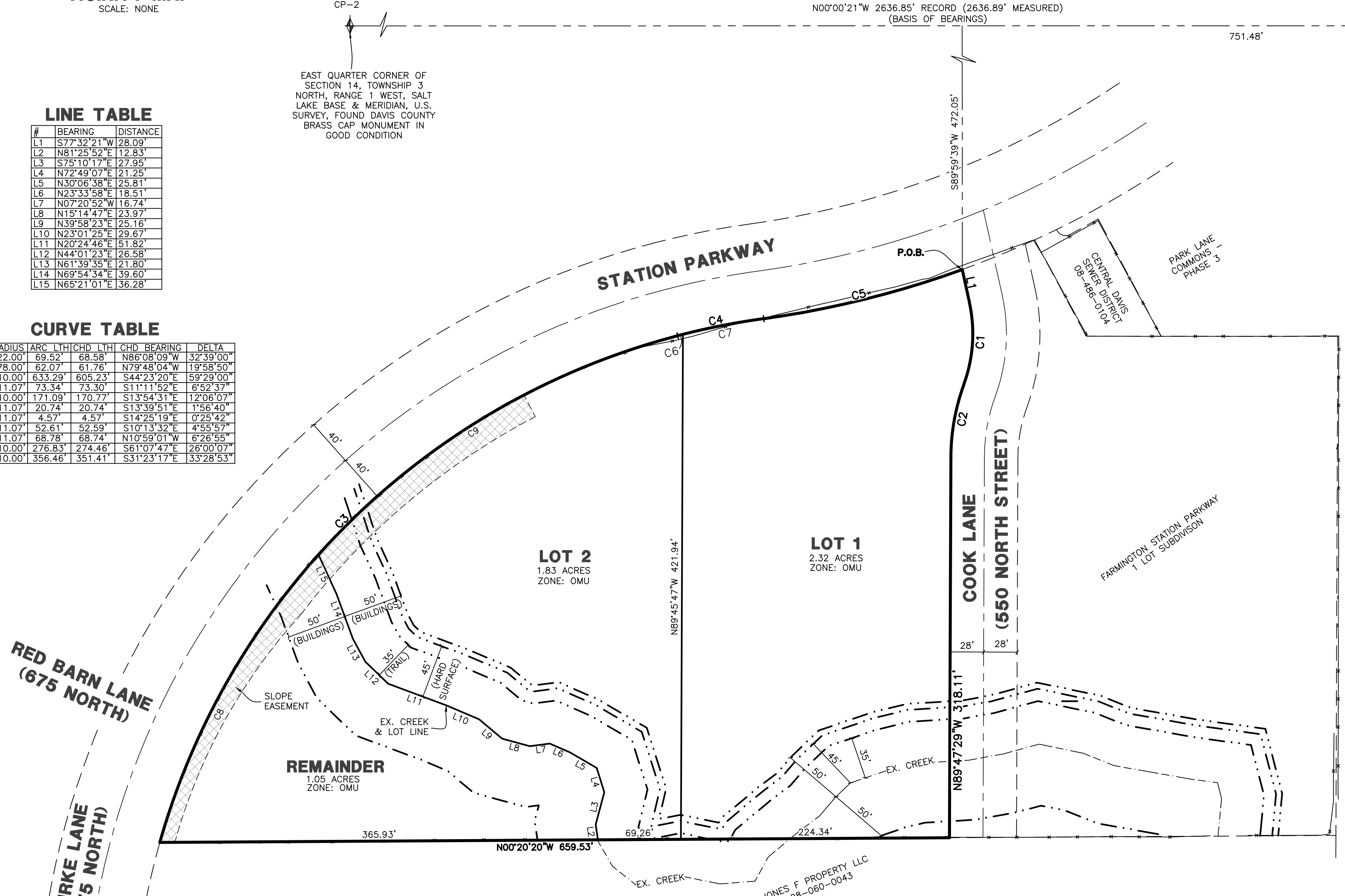
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

**LINE TABLE**

#	BEARING	DISTANCE
L1	S77°32'21"W	28.09
L2	N81°25'52"E	12.83
L3	S75°10'17"E	27.95
L4	N72°49'07"E	21.25
L5	N50°06'38"E	25.81
L6	N2°33'58"E	18.51
L7	N07°20'52"W	16.74
L8	N15°14'47"E	23.97
L9	N39°58'23"E	25.16
L10	N2°01'25"E	29.67
L11	N20°24'46"E	51.82
L12	N44°01'23"E	26.58
L13	N61°39'55"E	21.80
L14	N69°54'34"E	39.60
L15	N65°21'01"E	36.28

**CURVE TABLE**

CURVE	RADIUS	ARC	LTH	CHD	LTH	CHD	BEARING	DELTA
C1	122.00'	69.52'	68.58'	N86°08'09"W	32°39'00"			
C2	178.00'	62.07'	61.76'	N79°48'04"W	19°58'50"			
C3	610.00'	633.29'	605.23'	S44°23'20"E	59°29'00"			
C4	611.07'	73.34'	73.30'	S11°11'52"E	6°52'37"			
C5	810.00'	171.09'	170.77'	S13°54'31"E	12°06'07"			
C6	611.07'	20.74'	20.74'	S13°39'51"E	1°56'40"			
C6	611.07'	4.57'	4.57'	S14°25'19"E	0°25'42"			
C7	611.07'	52.61'	52.59'	S10°13'32"E	4°55'57"			
C7	611.07'	68.78'	68.74'	N10°59'01"W	6°26'55"			
C8	610.00'	276.83'	274.46'	S61°07'47"E	26°00'07"			
C9	610.00'	356.46'	351.41'	S51°23'17"E	33°28'53"			



**BOUNDARY DESCRIPTION**

PART OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS:  
 BEGINNING AT A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF STATION PARKWAY, SAID POINT BEING N00°00'21"W 2636.85' RECORD (2636.89' MEASURED) (BASIS OF BEARINGS) 751.48' TO POINT CP-1, SOUTHWEST CORNER OF SECTION 14, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, U.S. SURVEY, FOUND DAVIS COUNTY BRASS CAP MONUMENT IN GOOD CONDITION;  
 THENCE ALONG A TANGENT CURVE TURNING TO THE RIGHT WITH A RADIUS OF 122.00 FEET, AN ARC LENGTH OF 69.52 FEET, A DELTA ANGLE OF 32°39'00", A CHORD BEARING OF N86°08'09"W, AND A CHORD LENGTH OF 68.58 FEET; THENCE ALONG A REVERSE CURVE TURNING TO THE LEFT WITH A RADIUS OF 178.00 FEET, AN ARC LENGTH OF 62.07 FEET, A DELTA ANGLE OF 19°58'50", A CHORD BEARING OF N79°48'04"W, AND A CHORD LENGTH OF 61.76 FEET; THENCE N89°47'29"W 318.11 FEET; THENCE N00°20'20"W 659.53 FEET; THENCE ALONG A NON-TANGENT CURVE TURNING TO THE RIGHT WITH A RADIUS OF 610.00 FEET, AN ARC LENGTH OF 633.29 FEET, A DELTA ANGLE OF 59°29'00", A CHORD BEARING OF S44°23'20"E, AND A CHORD LENGTH OF 605.23 FEET; THENCE ALONG A COMPOUND CURVE TURNING TO THE RIGHT WITH A RADIUS OF 611.07 FEET, AN ARC LENGTH OF 73.34 FEET, A DELTA ANGLE OF 06°52'37", A CHORD BEARING OF S11°11'52"E, AND A CHORD LENGTH OF 73.30 FEET; THENCE ALONG A REVERSE CURVE TURNING TO THE LEFT WITH A RADIUS OF 610.00 FEET, AN ARC LENGTH OF 171.09 FEET, A DELTA ANGLE OF 12°06'07", A CHORD BEARING OF S13°54'31"E, AND A CHORD LENGTH OF 170.77 FEET; CONTAINING 226541 SQUARE FEET OR 5.201 ACRES MORE OR LESS.

**ACKNOWLEDGMENT**

STATE OF UTAH )ss.  
 COUNTY OF \_\_\_\_\_ )  
 ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, \_\_\_\_\_ (AND) \_\_\_\_\_ SIGNER(S) OF THE ABOVE OWNER'S DEDICATION AND CERTIFICATION, WHO BEING BY ME DULY SWORN, DID ACKNOWLEDGE TO ME \_\_\_\_\_ SIGNED IT FREELY, VOLUNTARILY, AND FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC

**ACKNOWLEDGMENT**

STATE OF UTAH )ss.  
 COUNTY OF \_\_\_\_\_ )  
 ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, \_\_\_\_\_ (AND) \_\_\_\_\_ BEING BY ME DULY SWORN, ACKNOWLEDGED TO ME THEY ARE \_\_\_\_\_ AND \_\_\_\_\_ OF SAID LLC AND THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID LLC FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC

**NARRATIVE**

THE PURPOSE OF THIS PLAT IS TO DIVIDE THE BELOW DESCRIBED PROPERTY INTO LOTS AS SHOWN. ALL BOUNDARY AND LOT CORNERS TO BE SET WITH A 5/8" X 24" REBAR AND RED PLASTIC CAP STAMPED "REEVE & ASSOCIATES".

**BASIS OF BEARINGS**

THE BASIS OF BEARINGS FOR THIS PLAT IS THE SECTION LINE BETWEEN FOUND BRASS CAP MONUMENTS AT THE EAST QUARTER CORNER AND SOUTHWEST CORNER, SHOWN HEREON AS N00°00'21"W. THE NAD 83 BEARING FOR THIS LINE IS N00°20'29"E.

- LEGEND**
- = SECTION CORNER
  - = BOUNDARY LINE
  - = LOT LINE
  - = ADJOINING PROPERTY
  - = EASEMENTS
  - = SECTION TIE LINE
  - = EXISTING FENCE LINE
  - = CREEK SETBACKLINE
  - = CREEK
  - = SLOPE EASEMENT

**PROJECT INFORMATION**

Surveyor:	T. HATCH	Project Name:	FARMINGTON STATION PARKWAY PHASE 2
Designer:	E. ROCHE	Number:	7306-01
Begin Date:	4-1-22	Scale:	1"=60'
		Sheet:	1 OF 1

**DAVIS COUNTY RECORDER**

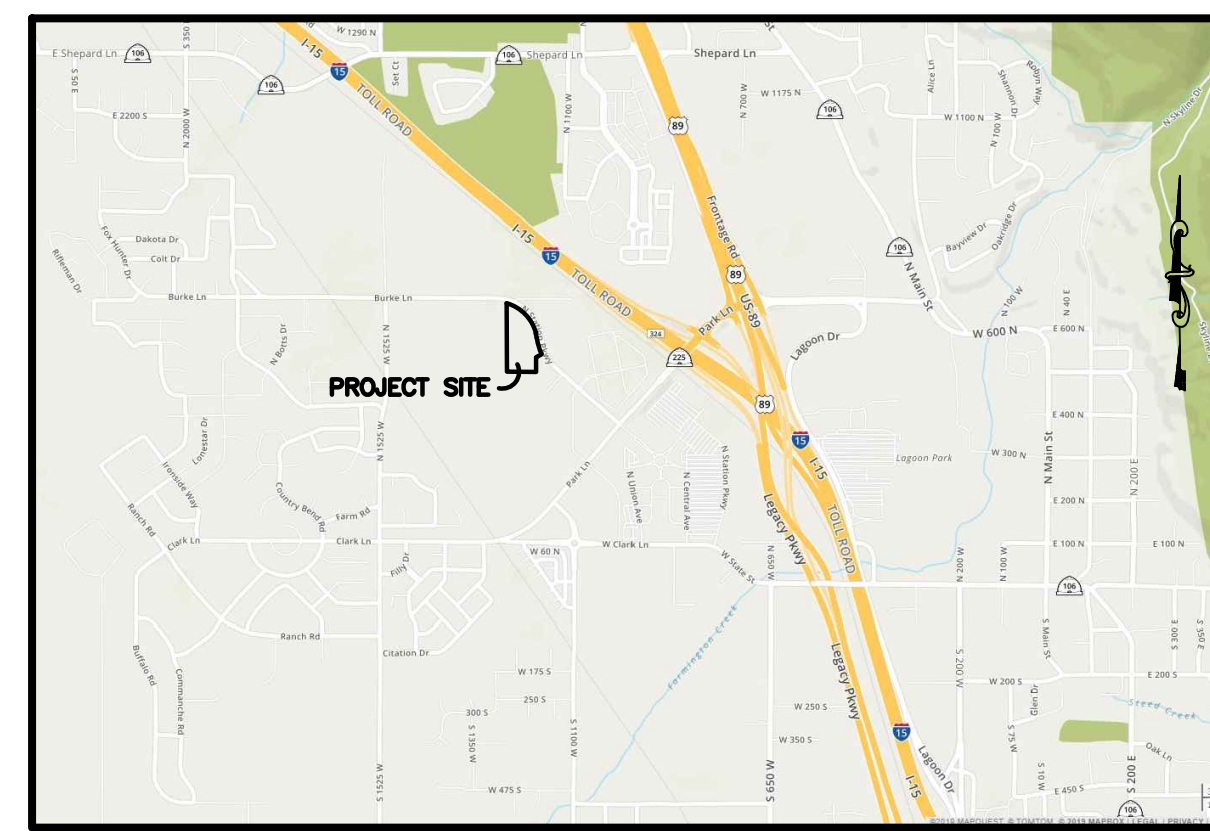
ENTRY NO. \_\_\_\_\_ FEE PAID \_\_\_\_\_  
 FILED FOR RECORD \_\_\_\_\_  
 AND RECORDED, \_\_\_\_\_ AT \_\_\_\_\_  
 IN BOOK \_\_\_\_\_ OF \_\_\_\_\_  
 THE OFFICIAL RECORDS, PAGE \_\_\_\_\_

RECORDED FOR: \_\_\_\_\_

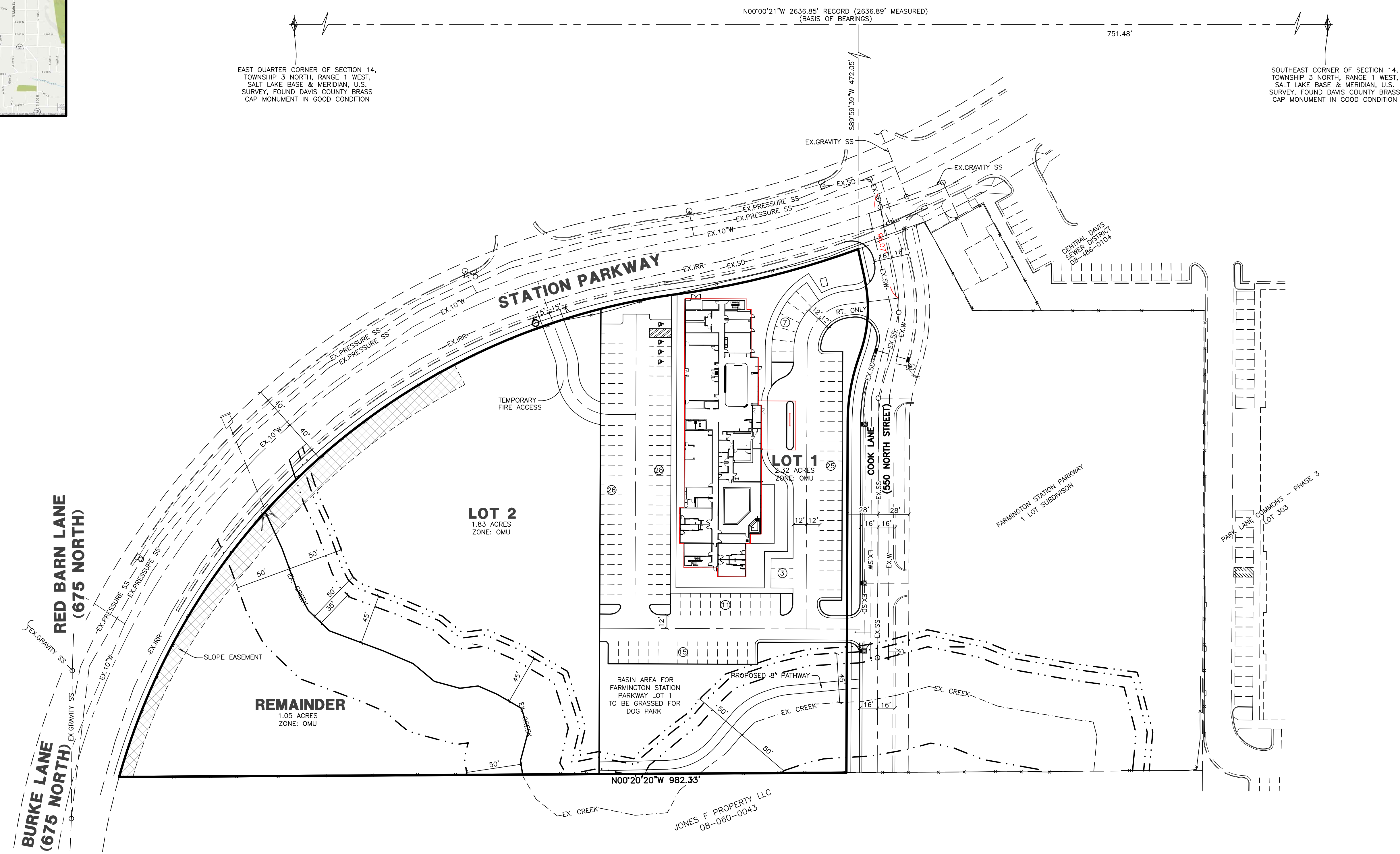
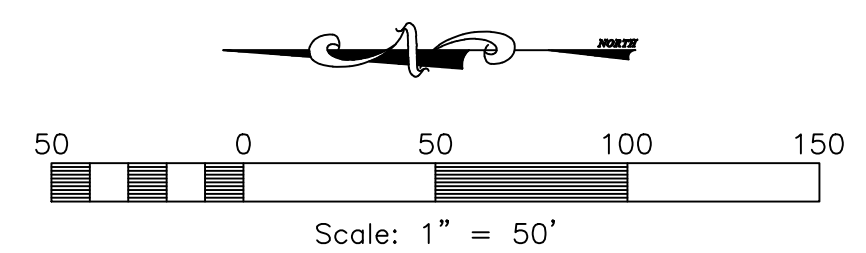
DAVIS COUNTY RECORDER \_\_\_\_\_  
 DEPUTY, \_\_\_\_\_

**DEVELOPER:**  
 DHARMESH AHIR  
 332 W. PARK LANE  
 FARMINGTON, UT. 84025





**VICINITY MAP**  
SCALE: NONE



EAST QUARTER CORNER OF SECTION 14, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, U.S. SURVEY, FOUND DAVIS COUNTY BRASS CAP MONUMENT IN GOOD CONDITION

SOUTHEAST CORNER OF SECTION 14, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, U.S. SURVEY, FOUND DAVIS COUNTY BRASS CAP MONUMENT IN GOOD CONDITION

**LEGEND**

- = SECTION CORNER
- = BOUNDARY LINE
- = PUBLIC RIGHT-OF-WAY LINE
- = ADJOINING PROPERTY
- = EASEMENTS
- = SECTION TIE LINE
- = EX.SW = EXISTING SECONDARY WATER LINE
- = EX.SS = EXISTING SANITARY SEWER LINE
- = EX.IRR = EXISTING IRRIGATION WATER LINE
- = EX.W = EXISTING CULINARY WATER LINE
- = EX.SD = EXISTING STORM DRAIN
- = EX.F = EXISTING FENCE LINE
- = CREEK SETBACK
- = EX.FH = EXISTING FIRE HYDRANT
- = EX.MH = EXISTING MANHOLE
- = EX.SCB = EXISTING STORM CATCH BASIN
- = EX.S = EXISTING STRUCTURE
- = SLOPE EASEMENT

STORM DRAIN NOTE:  
STORM DRAINAGE FROM THE SITE WILL BE STORED IN UNDERGROUND STORAGE CHAMBERS AND METERED INTO DRAINAGE CHANNEL.

# Farmington Station Parkway Phase 2

Farmington City, Davis County, Utah

**Developer:**  
Dharmesh Ahir  
332 W. Park Lane  
Farmington, Ut. 84025  
307-262-3089



REVISIONS	DESCRIPTION

**Farmington Station Parkway Phase 2**  
PART OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, U.S. SURVEY  
FARMINGTON CITY, DAVIS COUNTY, UTAH

**Schematic Concept Design Phase**


**Project Info.**

Engineer:	N. Reeve
Designer:	C. Cave
Begin Date:	March 24, 2022
Name:	FARMINGTON STATION PARKWAY PHASE 2
Number:	7306-01

Sheet	1
1	Sheets

Revised: April 29, 2022



## Planning Commission Staff Report May 19, 2022

### Item 9: The Ivy –Schematic Subdivision Plan, Preliminary Planned Unit Development and Zone Change

Public Hearing: Yes  
 Application No.: S-7-22, Z-4-22  
 Property Address: Parcel No 080510235, App. 1000 N Shepard Park Rd.  
 General Plan Designation: CMU and LDR (Commercial Mixed Use and Low Density Residential)  
 Zoning Designation: A  
 Area: 6 Acres  
 Number of Lots: 68  
 Property Owner: H Group Hidden Farm LLC  
 Agent: CW Urban

Request: *Applicant is requesting recommendations for approval for Schematic Subdivision, Preliminary PUD Master Plan, and zone change from A to CMU.*

#### **Background Information**

The IVY PUD is located at approximately 1000 N Shepard Park Road on Parcel 08-051-0235. The 6 acre parcel is zoned A (Agricultural), but the General Plan designates it as CMU (Commercial Mixed Use) and LDR (Low Density Residential). The entire parcel is part of the East Park Lane Small Area Master Plan which was approved by the City Council on April 17, 2018. Prior to the approval of the Master Plan, the General Plan was amended to its current designation on July 7, 2004. In the same year, on December 1, 2004, the City Council approved the Commercial Mixed Use zone. As specified in that text, all development must be considered as a planned unit development (PUD) or planned center development.

Since the East Park Lane Small Area Master Plans approval, several mixed use developments have been recorded or approved:

East Park Lane Phase II [and III] Rezone and Schematic Plan (Z-10-18 and S-26-18)	o East side of Lagoon Dr rezoned to R	PC	Rec.
	o West side of Lagoon Dr rezoned to CMU		1/10/19
	o Land adjacent to SR 106 remains LR	CC	Approved
	o Arrange a TDR to transfer residential density from the west to the east		2/5/19

East Park Lane Phase II Subdivision (S-26-18)	<ul style="list-style-type: none"> <li>○ Preliminary Plat Approved for 2 lots W of Lagoon Dr</li> <li>○ Final Plat Approved for 2 lots W of Lagoon Dr</li> </ul>	PC PC	4/18/19 2/20/20
The Rose PUD (S-12-20)	○ Final Plat for 49 single-family lots approved by the PC	PC	05/06/21

The IVY PUD can be compared to these developments as it preserves the west side of the future Lagoon Drive – 700 West connection as commercial, and proposes residential on the east. The commercial parcel will be retained under the current ownership, until such time as it develops.

The developer of The Ivy has worked with the surrounding property owners to plan efficient entrances to each development, and preserve the future ROWs as shown in the East Park Lane Master Plan – namely 1015 North, a ROW connecting Shepard Park Road (700 West) and Main Street. 1015 North shall be constructed along the northern border of the property.

**Suggested Motion**

Move that the Planning Commission recommend the City Council approve the schematic subdivision plan, Preliminary PUD Master Plan and zone change from A to CMU, subject to all applicable Farmington City development standards and ordinances and the following conditions:

1. A final PUD Master Plan will need review and approval from the Planning Commission prior to, or concurrent with, final plat approval.
2. An acceptable turnaround for Central Davis Sewer should be placed in their sewer easement.
3. An agreement between the property owner/agent detailing the fulfillment of 10% affordable housing requirements as codified by 11-19-035 of the zoning ordinance.
4. All conditions of the Development Review Committee and preliminary plat and final plat approvals.

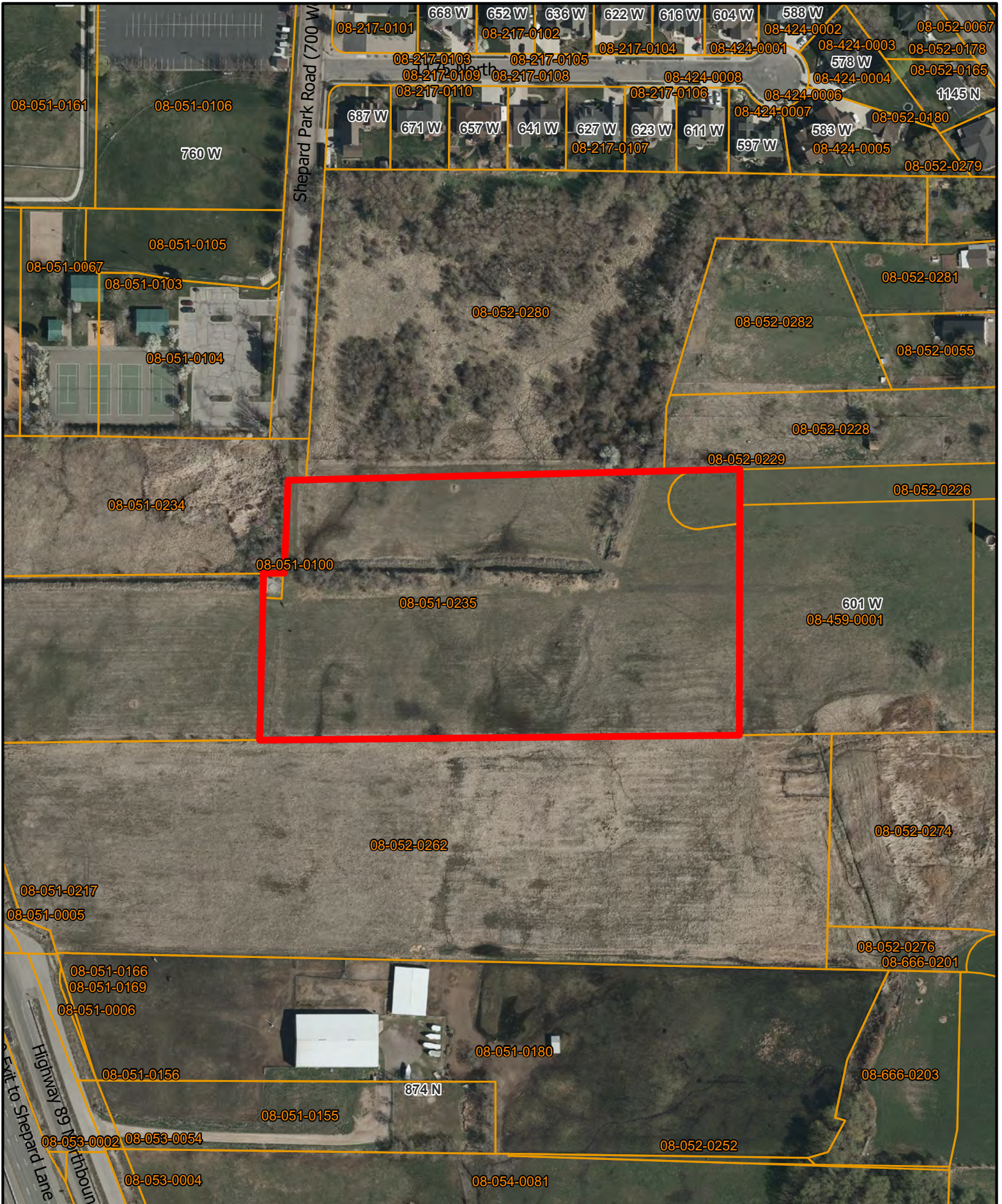
**Findings:**

1. The project follows the East Park Lane Small Area Master Plan.
2. The project complies with the City’s General Plan and zoning ordinances for the CMU zone, including pitched roofs.
3. 1015 North will be constructed concurrent with The Ivy. 1015 North provides a connection from Main Street to Shepard Park Road (700 West) and eliminates dead-ends longer than 1000 ft.

**Supplemental Information**

1. Vicinity Map
2. Schematic Subdivision Plan
3. Preliminary PUD Master Plan

4. Letter from Tim Taylor of WGC, City's consultant traffic engineer, sent 4.20.22; details the intersection distance from Hidden Farm Drive to 1015 North is unlikely to be a hazard to traffic safety.

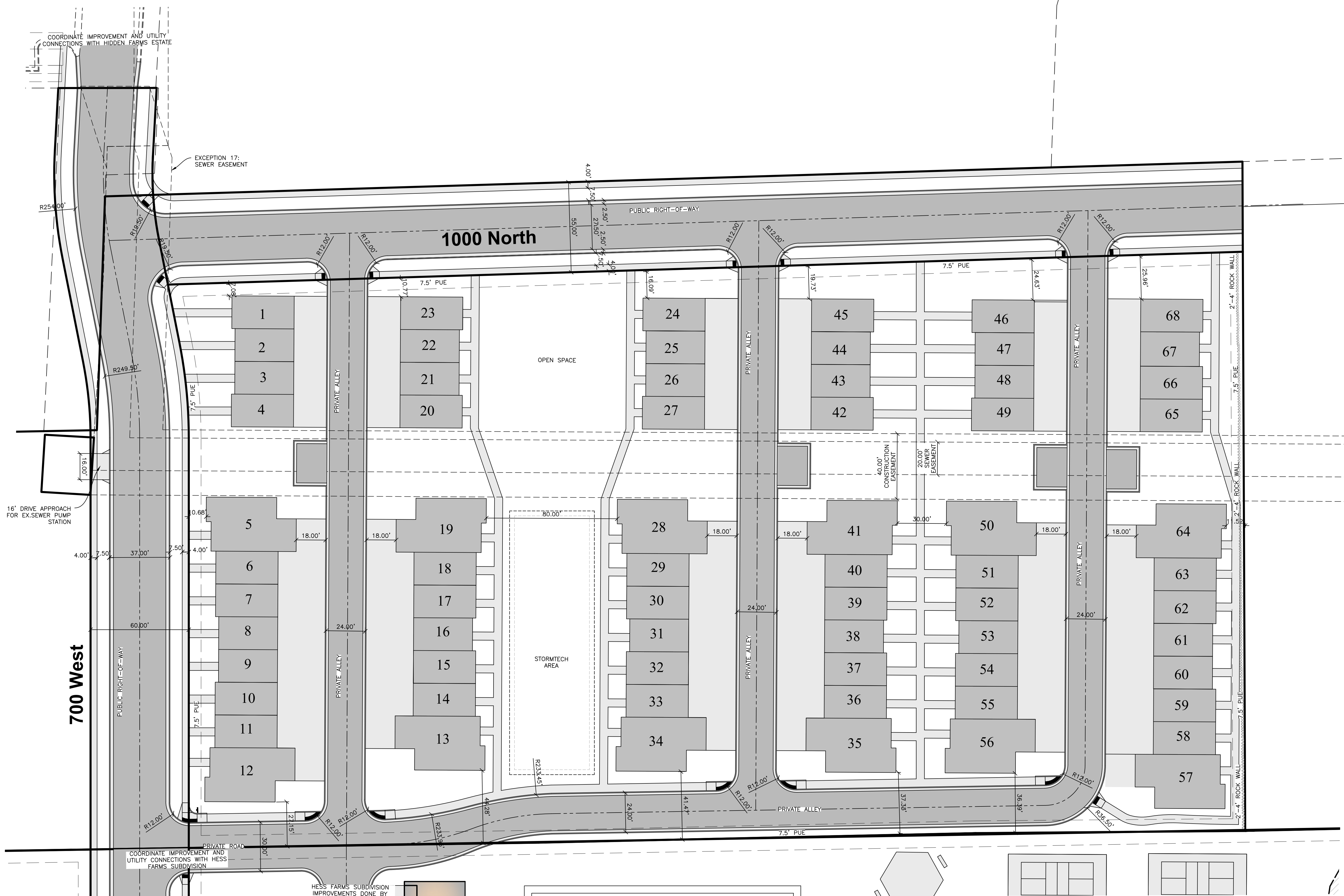


# VICINITY MAP

App. 1000 N Shepard Park Rd



Disclaimer: This map was produced by Farmington City GIS and is for reference only. The information contained on this map is believed to be accurate and suitable for limited uses. Farmington City makes no warranty as to the accuracy of the information contained for any other purposes.



16' DRIVE APPROACH FOR EX. SEWER PUMP STATION

EXCEPTION 17: SEWER EASEMENT

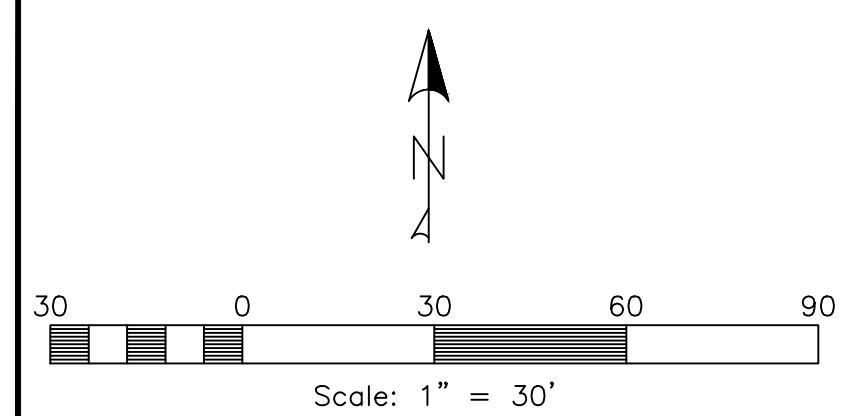
COORDINATE IMPROVEMENT AND UTILITY CONNECTIONS WITH HESS FARMS SUBDIVISION

HESS FARMS SUBDIVISION IMPROVEMENTS DONE BY OTHERS

**Site Information**

LOCATED IN:	FARMINGTON CITY, DAVIS COUNTY
RESIDENTIAL PROPERTY:	225,169 SF (5.17 ACRES)
TOWNHOMES:	68 UNITS
HARDSCAPE:	146,699 SF 65.0%
LANDSCAPE:	78,470 SF 35.0%
700 WEST:	27,989 SF (0.64 ACRES)
HARDSCAPE:	21,739 SF
LANDSCAPE:	6,250 SF
1000 NORTH:	36,413 SF (0.84 ACRES)
HARDSCAPE:	26,799 SF
LANDSCAPE:	9,614 SF

- NOTES:
- TOWNHOME SEWER LATERALS ARE 4" PVC WITH A MIN SLOPE OF 2.0%.
  - TOWNHOME WATER LATERALS SHALL RECEIVE A CURB STOP, WITH 1" WATER LATERAL.
  - ALL SECONDARY WATER LINES NEED TO BE INSTALLED PER BENCHLAND WATER DISTRICT STANDARDS AND SPECIFICATIONS.
  - ALL LOW ELEVATIONS NEED TO DRAIN, ALL HIGH ELEVATIONS NEED TO HAVE AIR RELEASE/VACUUM INSTALLED ON SECONDARY WATER MAINLINES.
  - ALL TRANSFORMERS, METERS, AND SIMILAR EQUIPMENT SHALL BE SCREENED.
  - TRASH CANS FOR EACH UNIT WILL BE ROLLED TO PRIVATE ALLEY.
  - ALL SECONDARY WATERLINES NEED TO BE INSTALLED PER BENCHLAND WATER DISTRICT STANDARDS AND SPECIFICATIONS.

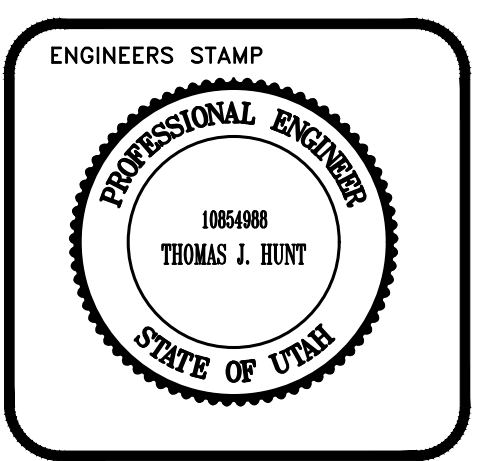


**HE HUNT**  
ENGINEERING, LLC  
HUNT ENGINEERING, LLC  
6619 Willow Creek Rd.  
Mountain Green, UT 84050  
C. 801.664.4724  
thomas.hunt@hunt-engineering.com

**Ivy Subdivision**  
NORTH 1/2, SEC 13, T3N, R1W, S18&M  
FARMINGTON, DAVIS COUNTY, UTAH

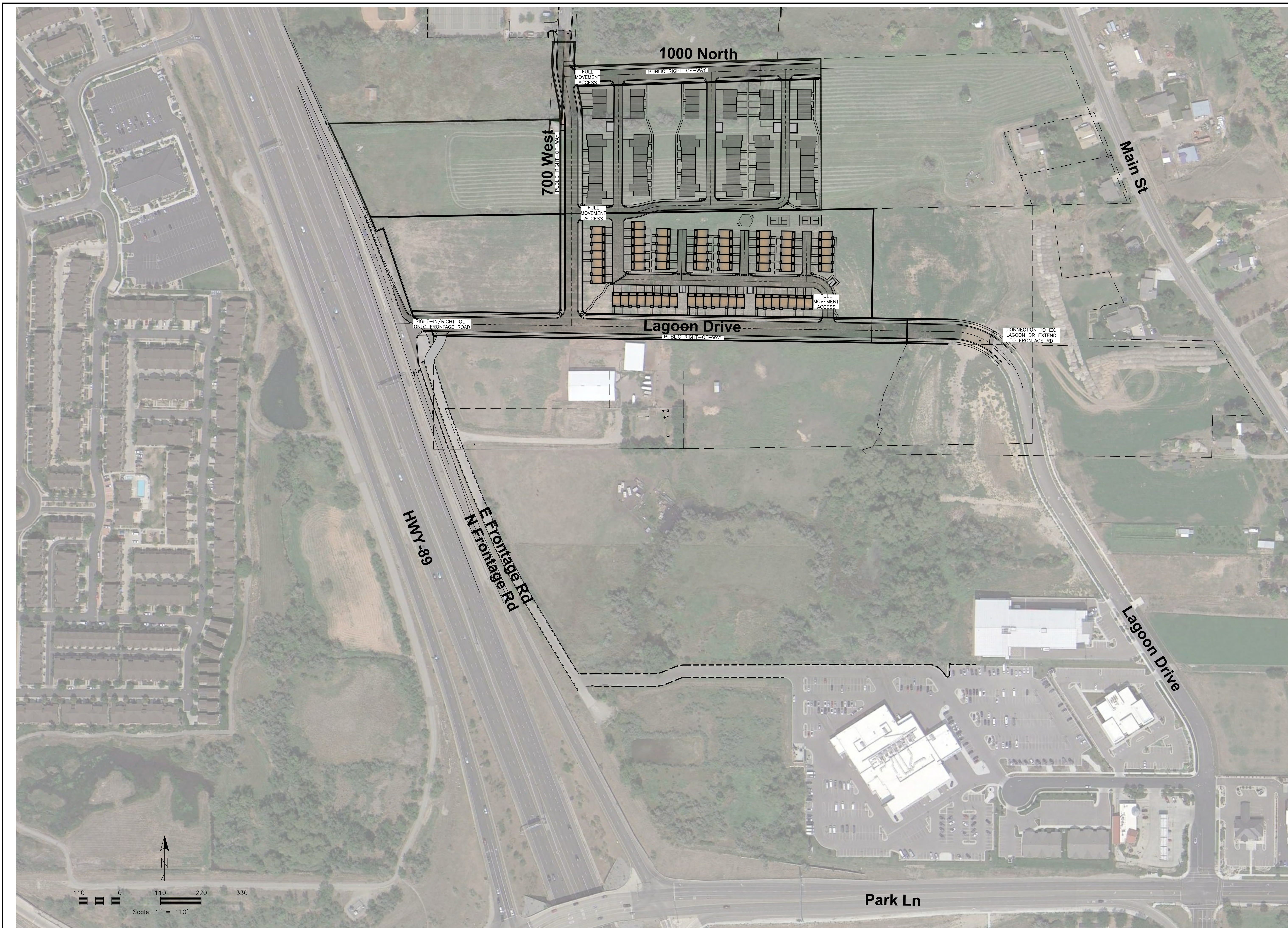
**Site Plan**

Revisions	Date



PROJECT INFO.  
Engineer: T. HUNT  
Drafter: T. HUNT  
Start Date: 04/22/2022  
Ivy Subdivision





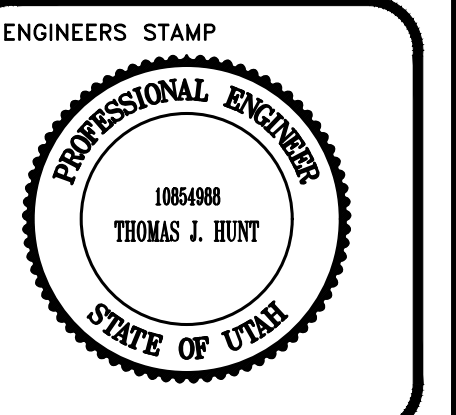
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**Ivy Subdivision**

NORTH 1/2, SEC 13, T3N, R1W, S18&M  
FARMINGTON, DAVIS COUNTY, UTAH

**Circulation Plan**

Revisions	Date



**PROJECT INFO.**  
Engineer: T. HUNT  
Drafter: T. HUNT  
Start Date: 04/22/2022  
Name: Ivy Subdivision

SHEET	8
7	SHEETS

**Surveyor's Certificate**

I, MICHAEL L. WANGEMANN, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 6431156, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED HEREON, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS, TOGETHER WITH EASEMENTS, HEREAFTER TO BE KNOWN AS: FARMINGTON ESTATES AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT.

DATE: MICHAEL L. WANGEMANN  
LICENSE NO. 6431156

**As-Surveyed Legal Description**

A PART OF THE NORTHEAST AND NORTHWEST QUARTERS OF SECTION 13, TOWNSHIP 3 NORTH, RANGE 1 WEST, OF THE SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTH BOUNDARY LINE OF NORTH MAIN STREET CHURCH SUBDIVISION BEING LOCATED NORTH 0°22'31" EAST 643.35 FEET ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 13 AND NORTH 90°00'00" EAST 351.36 FEET FROM THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER, RUNNING THENCE SOUTH 89°51'50" WEST 164.24 FEET; THENCE SOUTH 89°06'29" WEST 267.39 FEET; THENCE SOUTH 89°28'26" WEST 284.95 FEET; THENCE SOUTH 89°30'16" WEST 337.55 FEET; THENCE SOUTH 88°28'23" WEST 79.92 FEET; THENCE SOUTH 89°22'24" WEST 84.14 FEET TO THE EAST RIGHT-OF-WAY LINE OF HIGHWAY 89/91; THENCE ALONG SAID RIGHT-OF-WAY LINE ALONG THE ARC OF A 5141.29 FOOT RADIUS CURVE TO THE RIGHT 198.28 FEET HAVING A CENTRAL ANGLE OF 2°12'35" AND WHOSE CHORD BEARS NORTH 23°19'20" WEST 198.28 FEET TO AN EXISTING FENCE LINE; THENCE ALONG SAID EXISTING FENCE LINE THE FOLLOWING THREE (3) COURSES: (1) NORTH 89°14'38" EAST 629.62 FEET; (2) NORTH 2°18'44" EAST 173.30 FEET; (3) NORTH 89°59'51" EAST 577.75 FEET; THENCE SOUTH 02°20'44" WEST 16.49 FEET; THENCE NORTH 88°26'42" EAST 49.19 FEET; THENCE ALONG THE ARC OF A 45.11 FOOT RADIUS CURVE TO THE LEFT 141.72 FEET, HAVING A CENTRAL ANGLE OF 180°00'00" CHORD BEARS SOUTH 05°58'51" EAST 90.22 FEET; THENCE NORTH 81°55'20" EAST 59.48 FEET TO THE BOUNDARY OF SAID NORTH MAIN STREET CHURCH SUBDIVISION; THENCE ALONG SAID SUBDIVISION BOUNDARY SOUTH 0°20'37" WEST 325.71 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PROPERTY PREVIOUSLY CONVEYED BY GRANOR IN WARRANTY DEED RECORDED DECEMBER 31, 1992 IN THE OFFICE OF THE DAVIS COUNTY RECORDER AS ENTRY NO. 1010767, BOOK 1569, PAGE 1276:

BEGINNING AT A POINT SOUTH 89°45'50" WEST 352.89 FEET AND SOUTH 1761.66 FEET FROM THE NORTH QUARTER CORNER OF SECTION 13, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE MERIDIAN, IN THE CITY OF FARMINGTON; AND RUNNING THENCE SOUTH 3°29'52" WEST 35.00 FEET; THENCE NORTH 86°30'08" WEST 30.00 FEET; THENCE NORTH 3°29'52" EAST 34.88 FEET; THENCE SOUTH 86°43'93" EAST 30.00 FEET TO THE POINT OF BEGINNING.

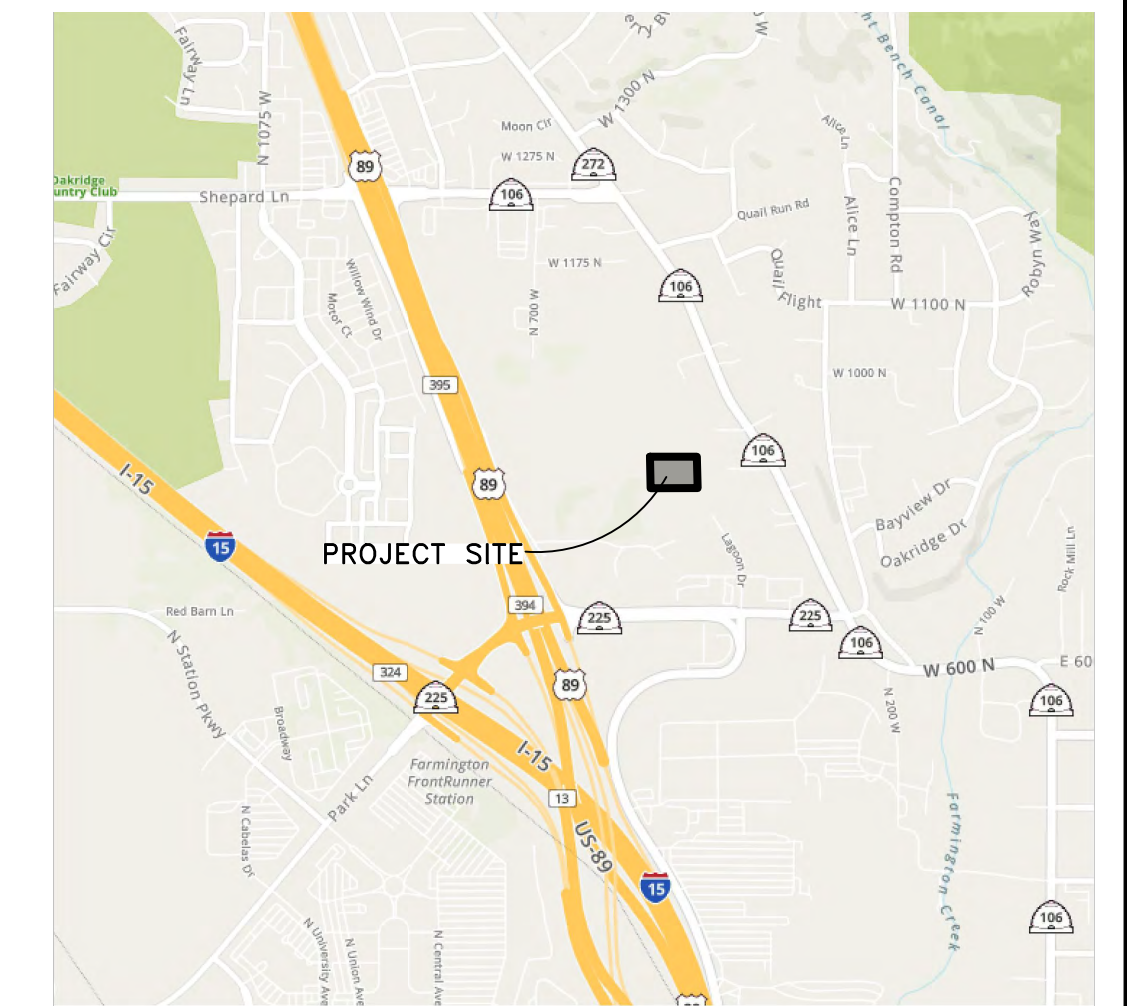
TOGETHER WITH AND SUBJECT TO THAT CERTAIN BOUNDARY LINE AGREEMENT RECORDED FEBRUARY 4, 2009 IN THE OFFICE OF THE DAVIS COUNTY RECORDER, AS ENTRY NO. 2421239, BOOK 4706, PAGE 1427.

# Ivy Subdivision Schematic Plat

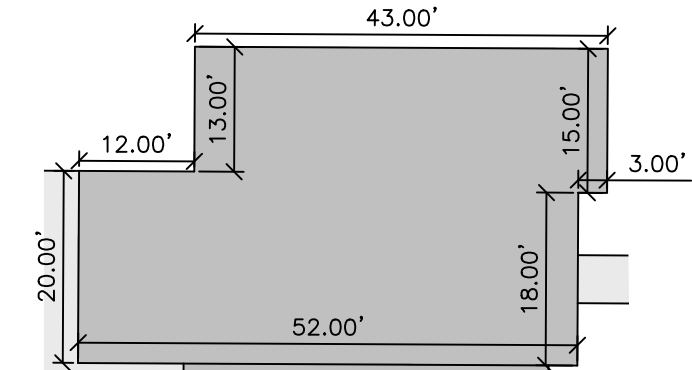
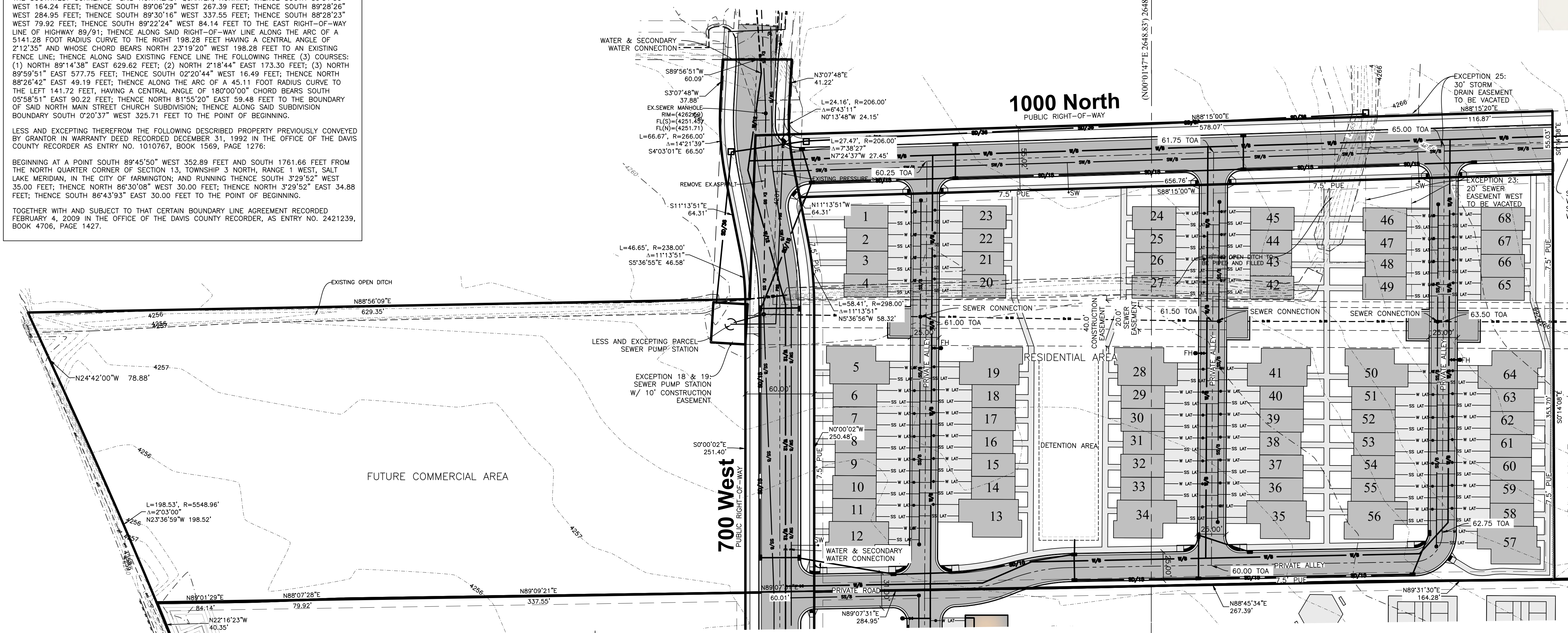
LOCATED IN THE NORTH 1/2 OF SECTION 13, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN  
FARMINGTON CITY, DAVIS COUNTY, UTAH  
MAY 2022

CURRENT ZONING - A  
PROPOSED ZONE - CMU

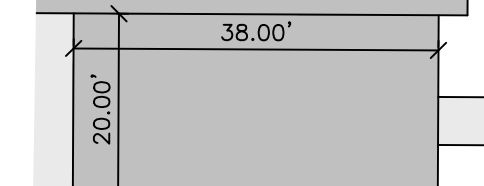
FOUND DAVIS COUNTY SURVEYOR  
BRASS CAP MONUMENT  
NORTH QUARTER CORNER, SECTION 13,  
TOWNSHIP 3 NORTH, RANGE 1 WEST,  
SALT LAKE BASE AND MERIDIAN



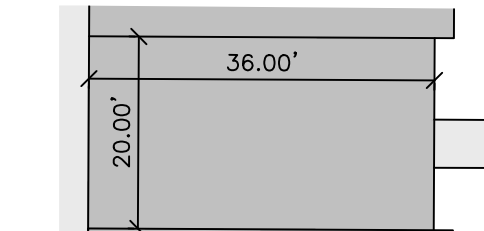
Vicinity Map  
NTS



Building Type A



Building Type B



Building Type C

- NOTES:
1. TOWNHOME SEWER LATERALS ARE 4" PVC WITH A MIN SLOPE OF 2.0%.
  2. TOWNHOME WATER LATERALS SHALL RECEIVE A CURB STOP, WITH 1" WATER LATERAL.
  3. ALL SECONDARY WATER LINES NEED TO BE INSTALLED PER BENCHLAND WATER DISTRICT STANDARDS AND SPECIFICATIONS.
  4. ALL LOW ELEVATIONS NEED TO DRAIN, ALL HIGH ELEVATIONS NEED TO HAVE AIR RELEASE/VACUUM INSTALLED ON SECONDARY WATER MAINLINES.
  5. ALL TRANSFORMERS, METERS, AND SIMILAR EQUIPMENT SHALL BE SCREENED.
  6. TRASH CANS FOR EACH UNIT WILL BE ROLLED TO PRIVATE ALLEY.
  7. ALL SECONDARY WATERLINES NEED TO BE INSTALLED PER BENCHLAND WATER DISTRICT STANDARDS AND SPECIFICATIONS.

**BASIS OF BEARINGS**

THE BASIS OF BEARING FOR THIS SURVEY WAS ESTABLISHED USING FOUND INTERSECTION DAVIS COUNTY SURVEYOR BRASS CAP MONUMENTS LOCATED AT THE WEST QUARTER CORNER AND THE CENTER OF SECTION 13, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN AS SHOWN ON THIS SURVEY PLAT.

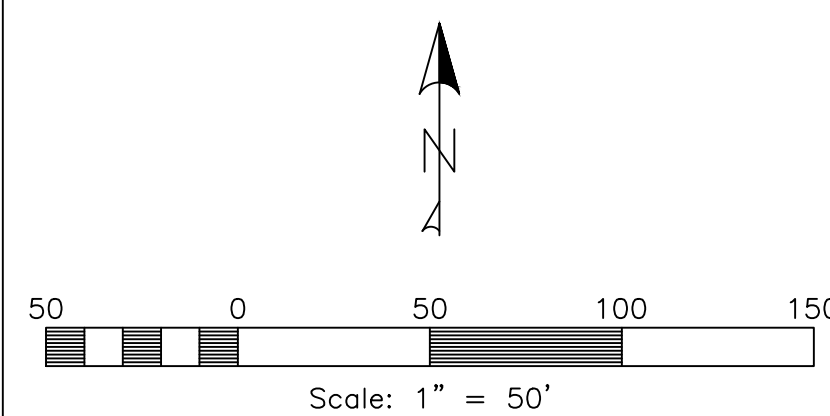
**Site Information**

LOCATED IN:	FARMINGTON CITY, DAVIS COUNTY
RESIDENTIAL PROPERTY:	225,169 SF (5.17 ACRES)
TOWNHOMES:	68 UNITS
HARDSCAPE:	13 UNITS PER ACRE
LANDSCAPE:	146,699 SF 65.0%
	78,470 SF 35.0%
700 WEST:	27,989 SF (0.64 ACRES)
HARDSCAPE:	21,739 SF
LANDSCAPE:	6,250 SF
1000 NORTH:	36,413 SF (0.84 ACRES)
HARDSCAPE:	26,799 SF
LANDSCAPE:	9,614 SF

THIS PROJECT IS LOCATED IN THE FEMA FLOOD ZONE X.

**LEGEND**

- PROPERTY LINE ————
- ROAD CENTERLINE - - - - -
- TIE TO MONUMENT - · - · - ·
- EASEMENT LINE - - - - -
- SECTION CORNERS ( )
- RECORD CALLS ( )



(S89°52'45"W 2627.59) 2627.52'  
BASIS OF BEARING  
NAD83 ROTATION = 00°21'15" CLOCKWISE

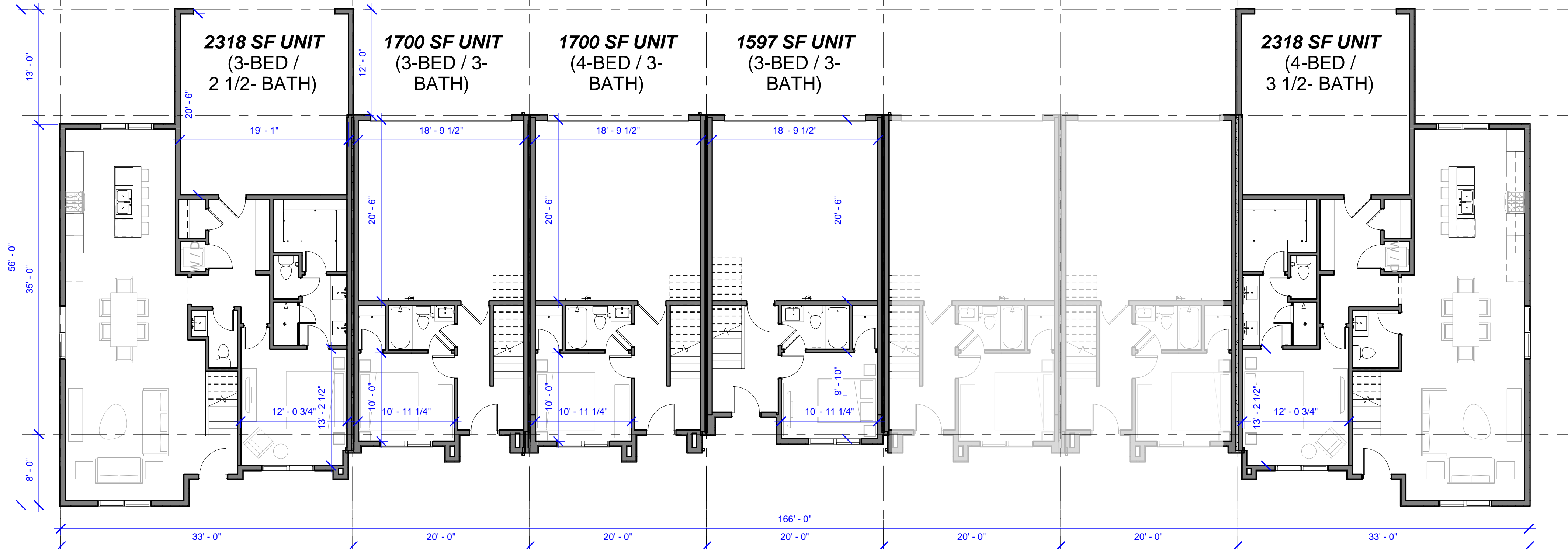
FOUND DAVIS COUNTY SURVEYOR  
BRASS CAP MONUMENT  
WEST QUARTER CORNER, SECTION 13,  
TOWNSHIP 3 NORTH, RANGE 1 WEST,  
SALT LAKE BASE AND MERIDIAN

FOUND DAVIS COUNTY SURVEYOR  
BRASS CAP MONUMENT  
CENTER OF SECTION 13,  
TOWNSHIP 3 NORTH, RANGE 1 WEST,  
SALT LAKE BASE AND MERIDIAN  
BENCHMARK=4252.86

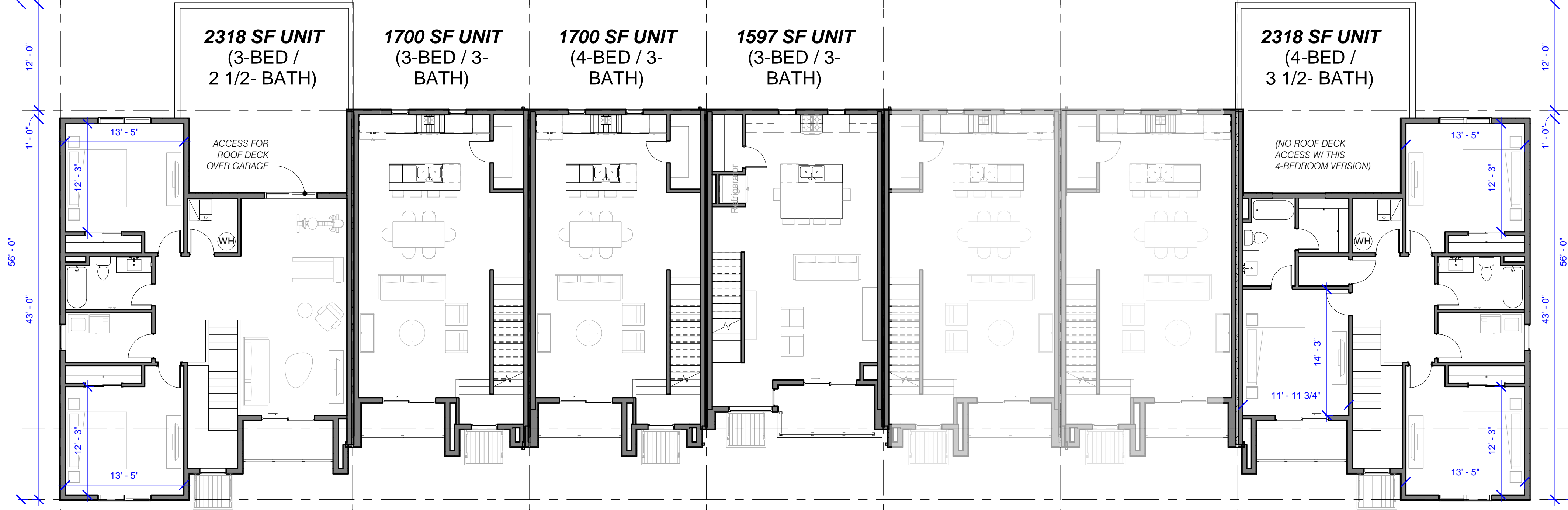
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BRASS CAP MONUMENT  
WITNESS CORNER TO THE  
EAST QUARTER CORNER, SECTION 13,  
TOWNSHIP 3 NORTH, RANGE 1 WEST,  
SALT LAKE BASE AND MERIDIAN

NOT FOUND MONUMENT  
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SALT LAKE BASE AND MERIDIAN

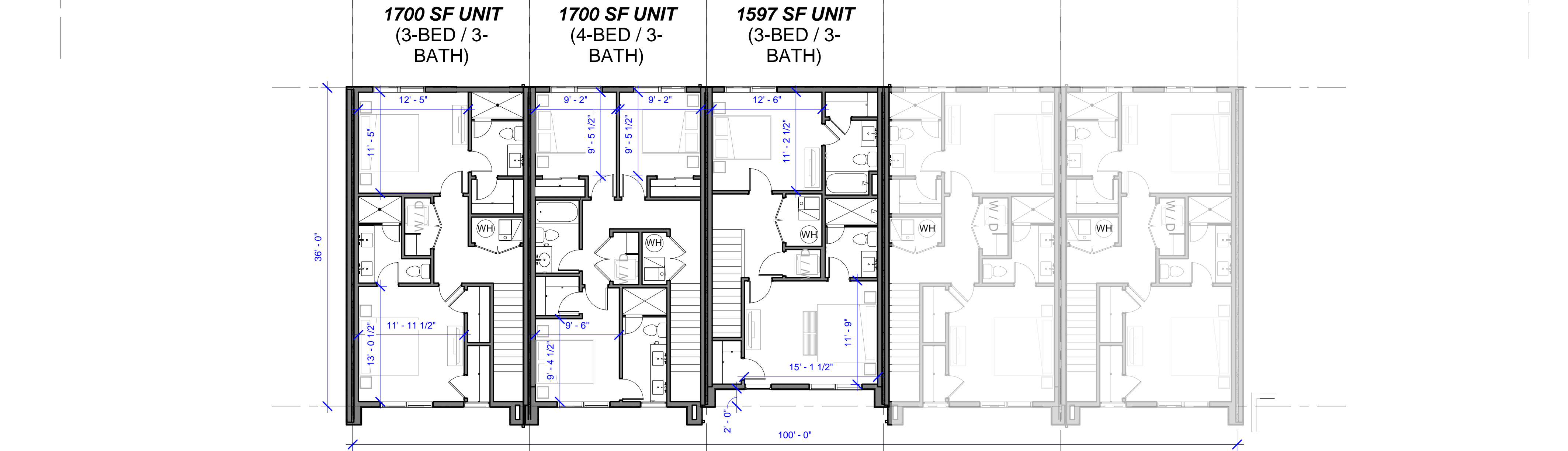
**1** LEVEL 1 - COMPOSITE  
1/8" = 1'-0"



**2** LEVEL 2 - COMPOSITE  
1/8" = 1'-0"



**3** LEVEL 3 - COMPOSITE  
1/8" = 1'-0"



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C.W.  
**URBAN**

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PROJECT  
**theIVY**  
FARMINGTON, UTAH

REVISIONS:

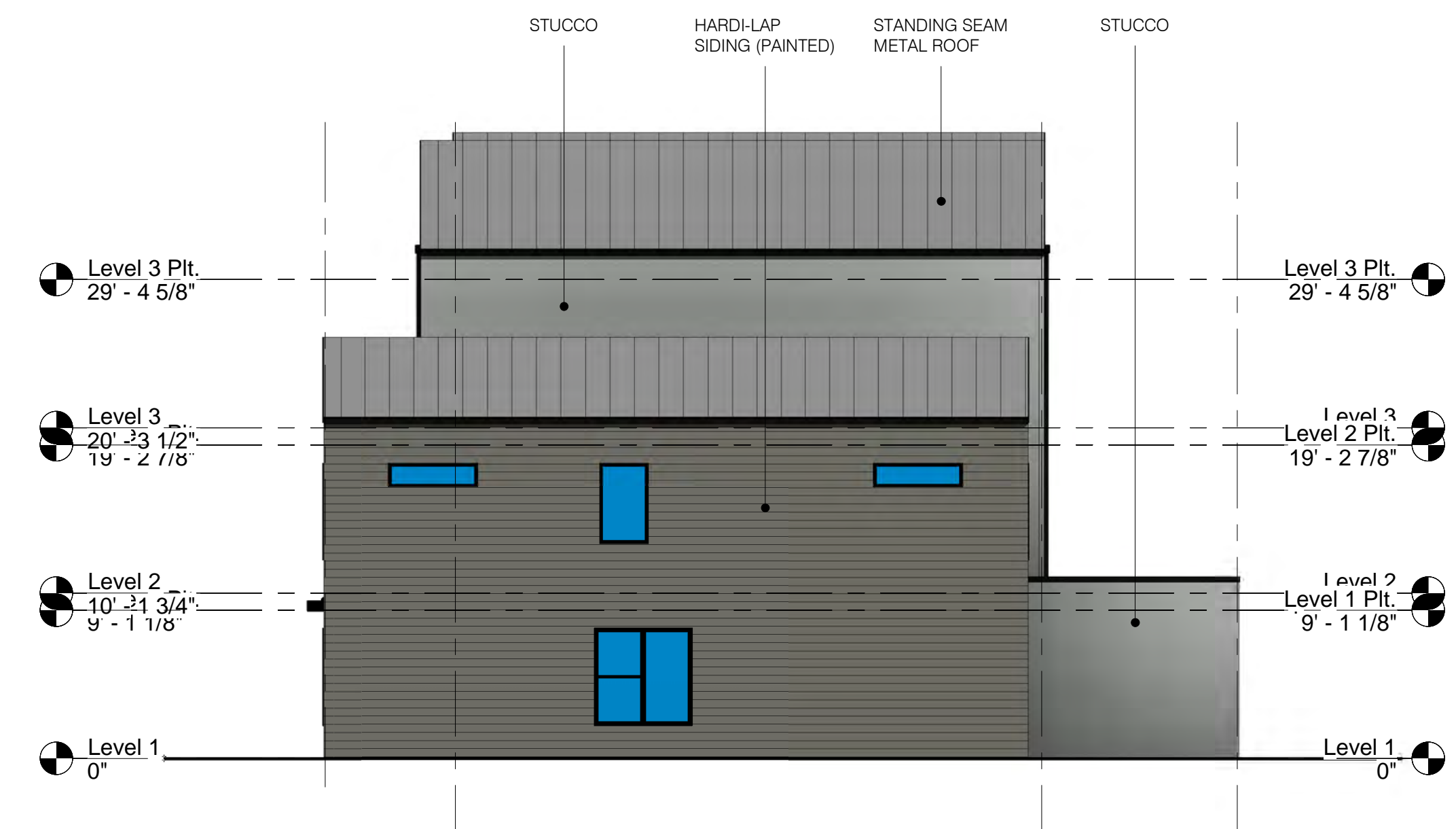
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SHEET:  
**A100**

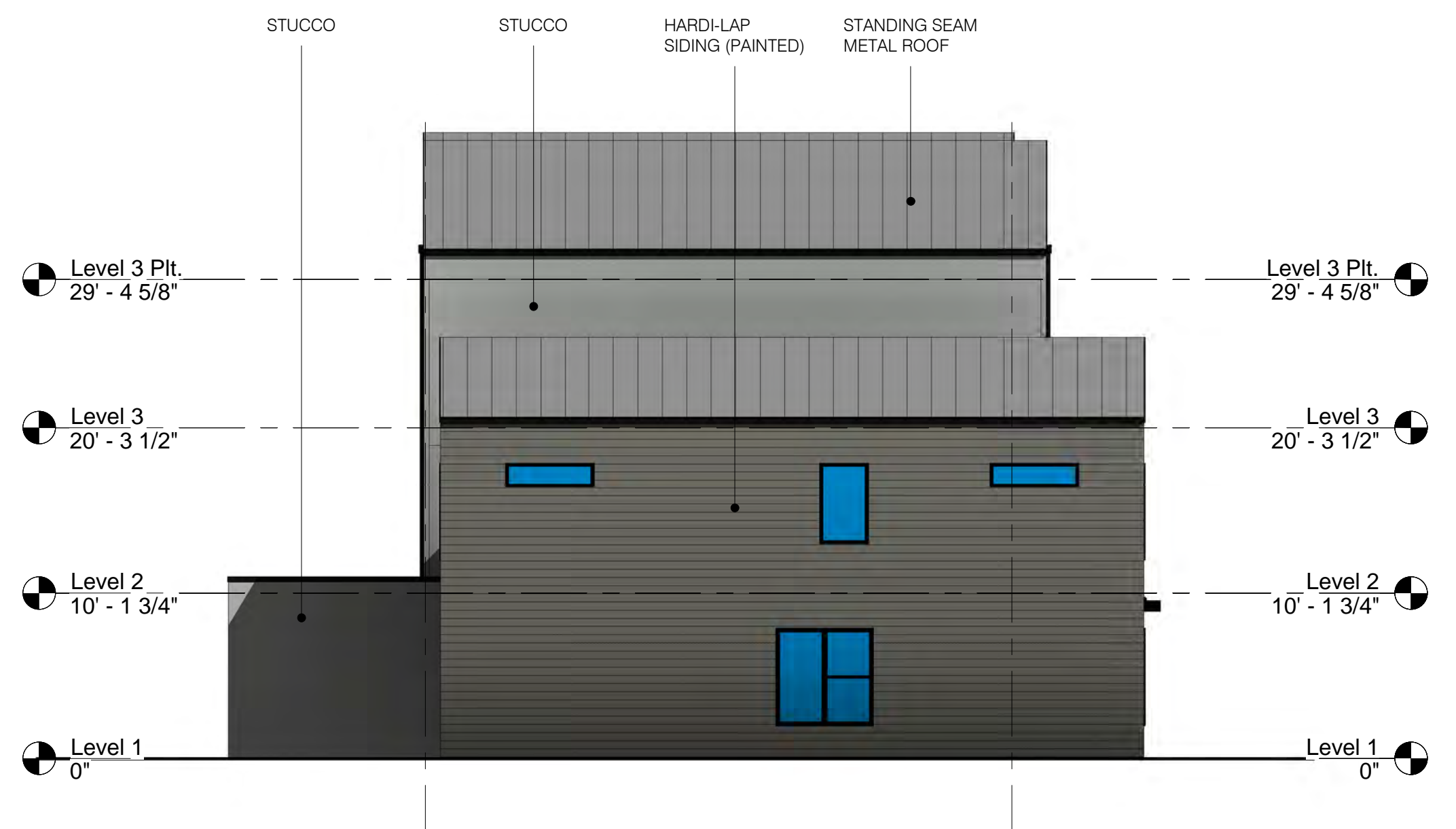
DATE: 5/4/2022 5:54:52 PM



**1 FRONT ELEVATION**  
1/8" = 1'-0"



**2 LEFT ELEVATION**  
1/8" = 1'-0"



**3 RIGHT ELEVATION**  
1/8" = 1'-0"



**4 REAR ELEVATION**  
1/8" = 1'-0"

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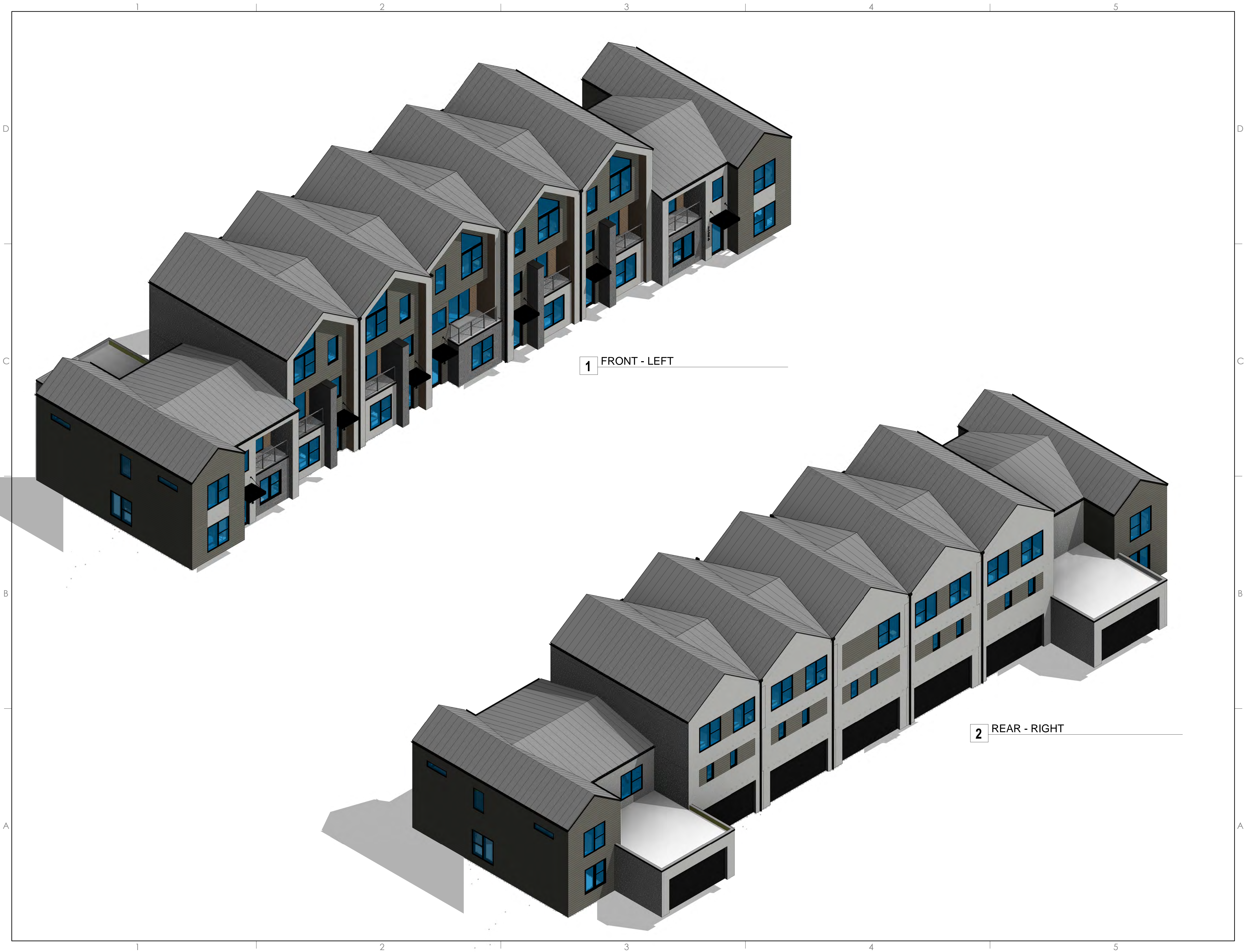
PROJECT  
theIVY  
FARMINGTON, UTAH

REVISIONS:

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SHEET:  
**A200**

DATE: 5/4/2022 5:34:21 PM



1 FRONT - LEFT

2 REAR - RIGHT

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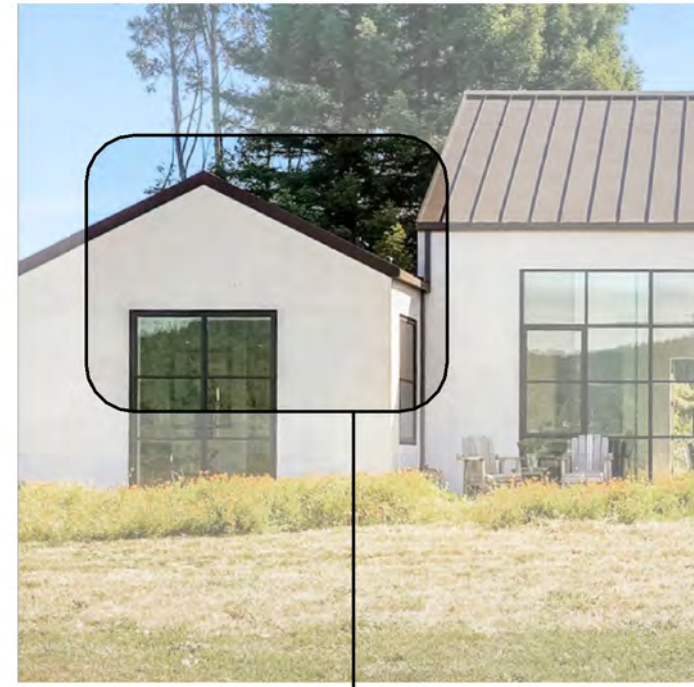
PROJECT  
**theIVY**  
FARMINGTON, UTAH

REVISIONS:

TITLE:  
**PERSPECTIVE  
VIEWS**

SHEET:  
**A300**

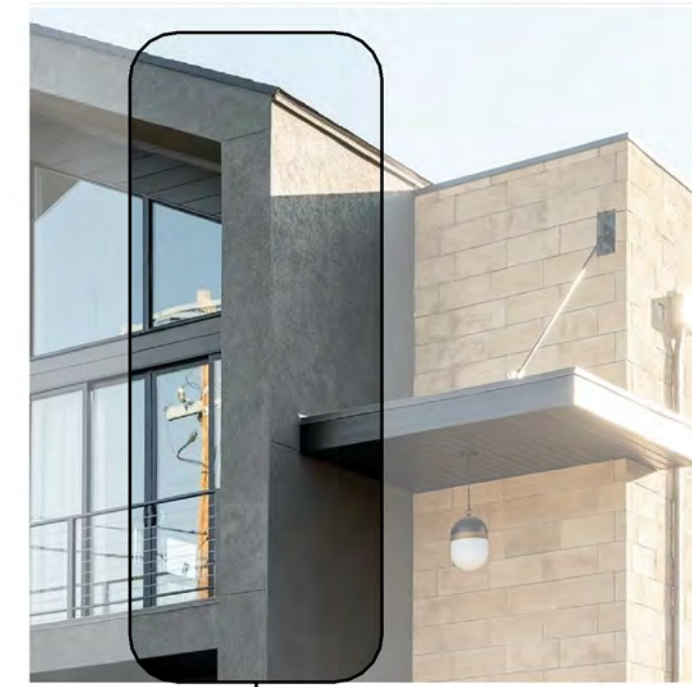
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FLAT GABLE END /  
FASCIA DTL.



GUTTER /  
VALLEY DTL.



STUCCO  
SHROUD



METAL  
ROOF



METAL  
AWNING

STONE  
DIVIDER WALL

BALCONY

WOOD  
SOFFIT



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PROJECT  
theIVY  
FARMINGTON, UTAH

REVISIONS:

TITLE:  
PRECEDENT  
IMAGES

SHEET:  
A400

DATE: 5/4/2022 5:37:05 PM

LX01 LX02 LX03 LX04  
 LX05 LX06 LX07 LX08



### KEYNOTES

#### 01 PAVEMENT, RAMPS, AND CURBS

Keynote	Detail
1/PV-A	Asphalt (CIVIL)
1/PV-A-EX	Asphalt (Existing)
1/PV-AGCS	Crushed Stone
1/PV-AGRR	River Rock
1/PV-C	Concrete
1/PV-C-1	Concrete Sidewalk with 24" Sawcut Scoring
1/PV-CURB	Concrete Curb (CIVIL)
1/PV-GUT	Concrete Gutter (CIVIL)
1/SAND	Playground Sand

#### 02 JOINTS

Keynote	Detail
---	CONTROL JOINT - SAW CUT (RED)
---	CONTROL JOINT - SAW CUT & BEVEL (RED)
---	CONTROL JOINT - TOOLED (MAGENTA)
---	EXPANSION JOINT (BLUE)
---	CONTROL JOINT - COLD
---	DOWEL CONNECTION

#### 03 SITE STAIRS

Keynote	Detail
3/STR-CONC	Concrete Stair - 6" x 12" - Modern Nosing

#### 04 SITE WALLS

Keynote	Detail
4/CW12	12" Concrete Wall Boardform
4/CW24	24" Concrete Wall Boardform
4/STLW38-wL	Steel-318'-PC Block with Angle Iron Lip

#### 05 SITE AMENITIES

Keynote	Detail
5/DOG TRASH	Dog Trash Station
5/F	OE Fire Feature
5/SF-CAFE	Cafe Table
5/SF-CHR1	Adirondack Chair
5/SF-LMBR	Cafe Table Umbrella

#### 06 SITE RAILINGS AND FENCES

Keynote	Detail
6/F-WD36	SlipFence - 42" - PC Black - Mixed Wood Slating

#### 07 SITE LIGHTING

Keynote	Detail	Count
SEE ELECTRICAL PLANS		

#### 08 SITE DRAINAGE

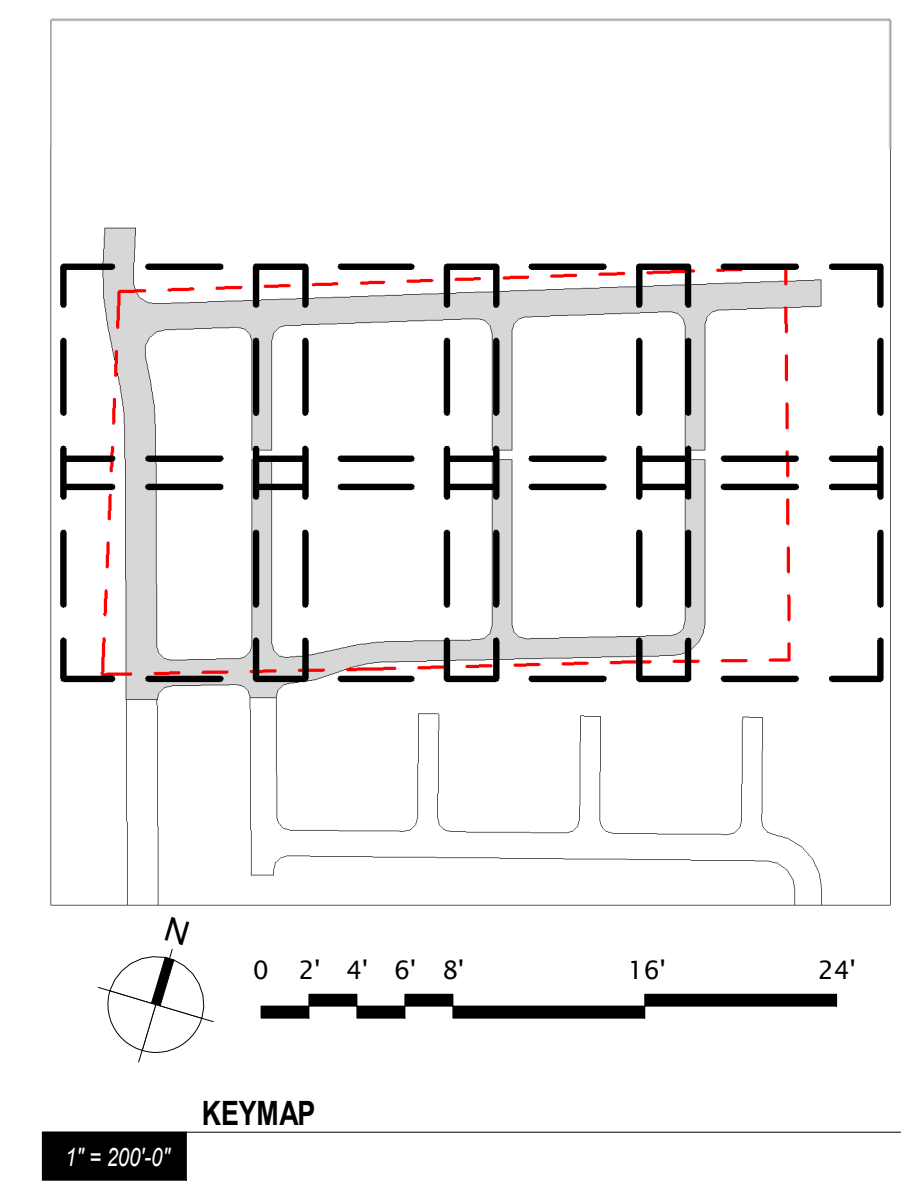
Keynote	Detail	Count
SEE CIVIL PLANS		

#### 09 PLANTING AREAS

Keynote	Detail
9/PA	Planting Area
9/SOD-LAWN	Lawn

#### 10 MISCELLANEOUS ELEMENTS

Keynote	Detail
10/BOULDER	Granite Boulder
10/CORN	Corn Hole
10/HORSE	Horse Shoe
10/PICKLE	Pickleball Court
10/SEWER	Manhole Cover



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Principal: David Harris  
 Project Manager: Grant Hardy  
 Drawn By: Grant Hardy

Checked By: David Harris

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Issue Date: 5/3/2022

**Revisions**

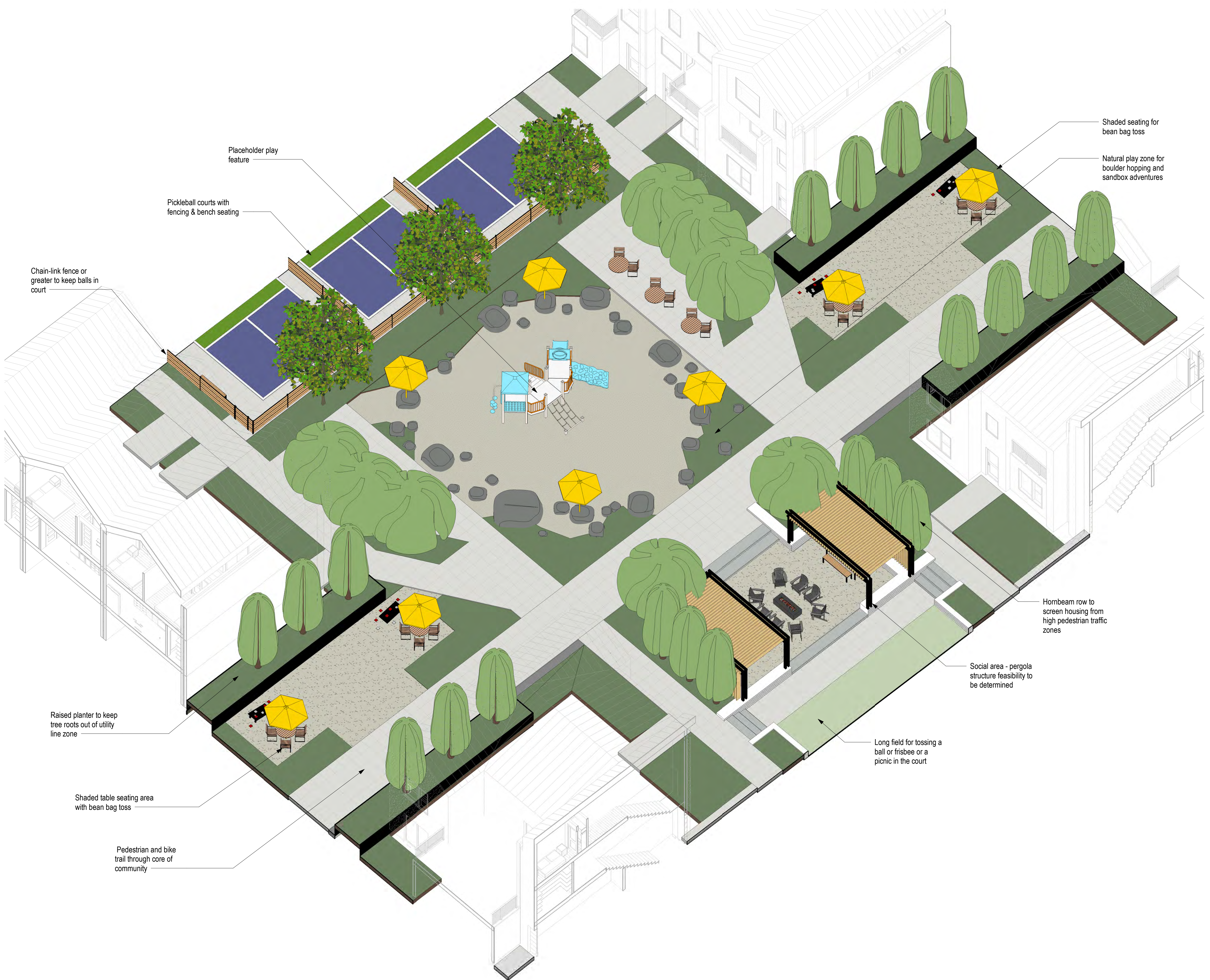
#	Description	Date

The Ivy  
 Lagoon Drive  
 Farmington, Utah

CITY  
 SUBMITTAL

SHEET LAYOUT

**L002**



**KEYNOTES**

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**02 JOINTS**

Keynote	Detail
CONTROL JOINT - SAW CUT (RED)	6L401
CONTROL JOINT - SAW CUT & BEVEL (RED)	7L401
CONTROL JOINT - TOOLED (MAGENTA)	8L401
EXPANSION JOINT (BLUE)	9L401
CONTROL JOINT - COLD DOWEL CONNECTION	10L401
	11L401

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Keynote	Detail
3/STR-CONC	Concrete Stair - 6" x 12" - Modern nosing

**04 SITE WALLS**

Keynote	Detail
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4/CW24	24" Concrete Wall Boardform
4/STLW38-w/L	Steel-38" PC Black with Angle Iron Lip

**05 SITE AMENITIES**

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Keynote	Detail
6/F-WD36	SlipFence - 42" - PC Black - Mixed Wood Slating

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Keynote	Detail	Count
SEE ELECTRICAL PLANS		

**08 SITE DRAINAGE**

Keynote	Detail	Count
SEE CIVIL PLANS		

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**10 MISCELLANEOUS ELEMENTS**

Keynote	Detail
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10/CORN	Corn Hole
10/HORSE	Horse Shoe
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10/SEWER	Manhole Cover



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 Project Manager Grant Hardy  
 Drawn By Grant Hardy  
 Checked By David Harris

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**Revisions**

#	Description	Date





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**06 SITE RAILINGS AND FENCES**

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Keynote	Detail	Count
SEE ELECTRICAL PLANS		

**08 SITE DRAINAGE**

Keynote	Detail	Count
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Keynote	Detail
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Keynote	Detail
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10/CORN	Corn Hole
10/HORSE	Horse Shoe
10/PICKLE	Pickleball Court
10/SEWER	Manhole Cover



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 Project Manager Grant Hardy  
 Drawn By Grant Hardy

Checked By David Harris

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Issue Date 5/3/2022

**Revisions**

#	Description	Date



KEYNOTES LEGEND

TREES	QTY	COMMON / BOTANICAL NAME	SIZE
		KANZAN FLOWERING CHERRY PRUNUS X 'KANZAN'	2" CAL
		HONEY LOCUST GLEDTISIA TRIANCANTHOS	2" CAL
		EUROPEAN HORNBEAM, COLUMNAR CARPINUS BETULUS 'FASTIGIATA'	2" CAL
SHRUBS	QTY	COMMON / BOTANICAL NAME	SIZE
To be provided as part of final planting plan			
GROUNDCOVERS	QTY	COMMON / BOTANICAL NAME	SIZE
		KENTUCKY BLUEGRASS TURF SOD BLUEGRASS	
		PLANTING AREA Native or native adapted planting area. Mulch: 18" topsoil.	

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 6949 South High Tech Dr  
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 epg@epgdesign.com  
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 dharris@epgllc.co



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 Project Manager Grant Hardy  
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Checked By David Harris

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Issue Date 5/3/2022

Revisions

#	Description	Date

The Ivy  
 Lagoon Drive  
 Farmington, Utah

CITY  
 SUBMITTAL

PLANTING PLAN

**L400**



**Tim Taylor**

4:38 PM  
(8 minutes ago)

to me, Shannon, David

Lyle & Shannon,

Thanks for jumping on the Google Meet with me. It's my opinion that the +/- 115' spacing along 700 West won't be a problem. The cul-de-sac street only serves 14 single family homes and will generate a minimal amount of traffic (17 or so vehicle trips) during the AM and PM peak hours. To me it's more important that the connection between 700 W and Main Street (1015 North) be straight.

Let me know if you have questions.

Thanks,  
Tim



**Tim Taylor, PE, PTOE**  
Wall Consultant Group

---

801-884-9166  
2139 S. 1260 W., Salt Lake City, UT 84119  
[tim.taylor@wcg.us](mailto:tim.taylor@wcg.us) | [www.wcg.us](http://www.wcg.us)



## CITY COUNCIL MEETING NOTICE AND AGENDA

Notice is given that the City Council of the City of Farmington will hold a regular meeting on **Tuesday, May 17th 2022** at City Hall 160 South Main, Farmington, Utah. A work session will be held at 5:00 pm in Conference Room 3 followed by the regular session at 7:00 pm in the Council Chambers. The link to listen to the meeting live and to comment electronically can be found on the Farmington City website at [www.farmington.utah.gov](http://www.farmington.utah.gov). If you wish to email a comment for any of the listed public hearings, you may do so at [dcarlile@farmington.utah.gov](mailto:dcarlile@farmington.utah.gov)

### **WORK SESSION – 5:00 p.m.**

- Budget presentations and deliberation

### **REGULAR SESSION – 7:00 p.m.**

#### **CALL TO ORDER:**

- Invocation - Mayor Brett Anderson,
- Pledge of Allegiance – Alex Leeman, Councilmember

#### **PUBLIC HEARING:**

- Consolidated Fee Schedule Resolution – Parks and Recreation
- Juniper Estates – Preliminary PUD Master Plan, PUD Overlay and TDR Agreement. (S-1-22)
- A request to approve a rezone of the property located at 174 E State Street from OTR (Original Townsite Residential) to BR (Business Residential); note, back half of the property only. (Z-3-22)
- Consideration of Additional Text and an Amendment to the City's Zoning Ordinance Regarding Kennels. (ZT-4-22)

#### **BUSINESS:**

- Alternate Lot Standards Agreement and subdivision by Metes and Bounds at 877 N Main Street for Laurel Cahoon
- Audit Service Engagement for FY22

#### **SUMMARY ACTION:**

- City Council Minutes 4-12-22.
- Avid Trails Contract for Lower Farmington Creek Trail Design
- Surplus Trucks - Public Works
- Resolution recommending Parks, Recreation, Arts & Trails (PRAT) Advisory Board members
- Public Improvement Bond Rose PUD

#### **GOVERNING BODY REPORTS:**

- City Manager Report
- Mayor Anderson & City Council Reports

#### **ADJOURN**

#### **CLOSED SESSION – Property Acquisition & Character and Competence**

In compliance with the Americans with Disabilities Act, individuals needing special accommodations due to a disability, please contact DeAnn Carlile, City Recorder at 801-939-9206, at least 24 hours in advance of the meeting.

#### **CERTIFICATE OF POSTING**

*I hereby certify that the above notice and agenda were posted at Farmington City Hall, the State Public Notice website, the city website [www.farmington.utah.gov](http://www.farmington.utah.gov), and emailed to media representatives on May 12<sup>th</sup>, 2022*

***DeAnn Carlile***

DeAnn Carlile  
Farmington City Recorder