



**FARMINGTON CITY
PLANNING COMMISSION**

May 22, 2025



FARMINGTON

MORE TIME FOR LIVING

PLANNING COMMISSION MEETING NOTICE AND AGENDA Thursday May 22, 2025

Notice is given that Farmington City Planning Commission will hold a regular meeting at City Hall 160 South Main, Farmington, Utah. A work session will be held at **6:30 PM** prior to the **regular session which will begin at 7:00 PM** in the Council Chambers. The link to listen to the regular meeting live and to comment electronically can be found on the Farmington City website at farmington.utah.gov. Any emailed comments for the listed public hearings, should be sent to crowe@farmington.utah.gov by 5 p.m. on the day listed above.

SITE PLAN AND SUBDIVISION APPLICATION – *no public hearing*

1. LTF Real Estate Company Inc – Applicant is requesting approval for the final site plan and final subdivision, for the Lifetime project located at 1343 W Maker Way (parcel ID 080600074), on 8.67 acres of property in the OMU (Office Mixed Use) zone.

ZONE TEXT AMENDMENTS – *public hearings (1)*

2. Farmington City – Applicant is requesting a recommendation for a zone text amendment to Section 11-35, in order to allow staff to approve certain home occupation requests as a permitted use outside of the main dwelling.

OTHER BUSINESS

3. City Council Reports, Approval of Minutes, Upcoming Items & Trainings.
 - a. Planning Commission Minutes Approval: 05.08.2025
 - b. City Council Report: 05.20.2025
 - c. Headcount for joint City Council/Planning Commission work session regarding the Parks element of the General Plan. Presentation at 6 pm on Tuesday June 3, 2025.
 - d. Other

Please Note: Planning Commission applications may be tabled by the Commission if: 1. Additional information is needed in order to act on the item; OR 2. If the Planning Commission feels, there are unresolved issues that may need additional attention before the Commission is ready to make a motion. No agenda item will begin after 10:00 p.m. without a unanimous vote of the Commissioners. The Commission may carry over Agenda items, scheduled late in the evening and not heard to the next regularly scheduled meeting.

***CERTIFICATE OF POSTING** I hereby certify that the above notice and agenda were posted at Farmington City Hall, the State Public Notice website, the city website www.farmington.utah.gov, the Utah Public Notice website at www.utah.gov/pmn on May 19, 2025.
Carly Rowe, Planning Secretary*



Farmington City Planning Commission Staff Report May 22, 2025

Item 1 Lifetime – Final Site Plan and Final Plat

Public Hearing:	No
Application No.:	SP-11-22; S-19-22
Property Address:	1343 West Burke Lane
Zoning Designation:	OMU (Office Mixed Use)
Area:	8.6 Acres
Number of Lots:	1
Property Owner:	LTF Real Estate
Agent:	Ross Stickler

Request: *Applicant is requesting approval of the final site plan and subdivision plat for Lifetime Fitness.*

Background Information

Lifetime originally approached the City in 2022 to propose a their facility at the subject location. Prior agreements required that the site be a non-residential use and the council approved the use of the property for this facility allowing for some deviation from mixed-use zoning standards for the site design.

Since that time, Innovator Drive and Maker way construction has been completed, Sego Homes and development to the west of the site is well underway.

The building design and site plan have been updated and refined since the original concept that was approved including a recent update approved by the council allowing for the removal of outdoor pickleball courts which were originally shown.

The existing agreements for this property require that there be 184 shared parking in favor of the city/public on site to support the park under construction to the south. The fitness center is required to be at least 80,000 sq. ft. in size and the design should follow what is approved in the PMP.

A Final Site Plan consideration is an administrative act in which the Planning Commission is tasked with simply verifying whether or not the project has met the requirements previously determined by code or agreement with the council.

It is the opinion of staff that the Site Plan meets applicable code, the required elements of the applicable Development Agreement, and is consistent with the approved PMP.

The Development Review Committee has reviewed the construction drawings for this project multiple times and is ready to recommend approval from the Planning Commission for completion of the public review process. There is a known item remaining with the sewer design that is to be resolved. The applicant continues to work with the DRC and sewer district while looking for assurance from the Planning Commission regarding the final site plan and building architecture.

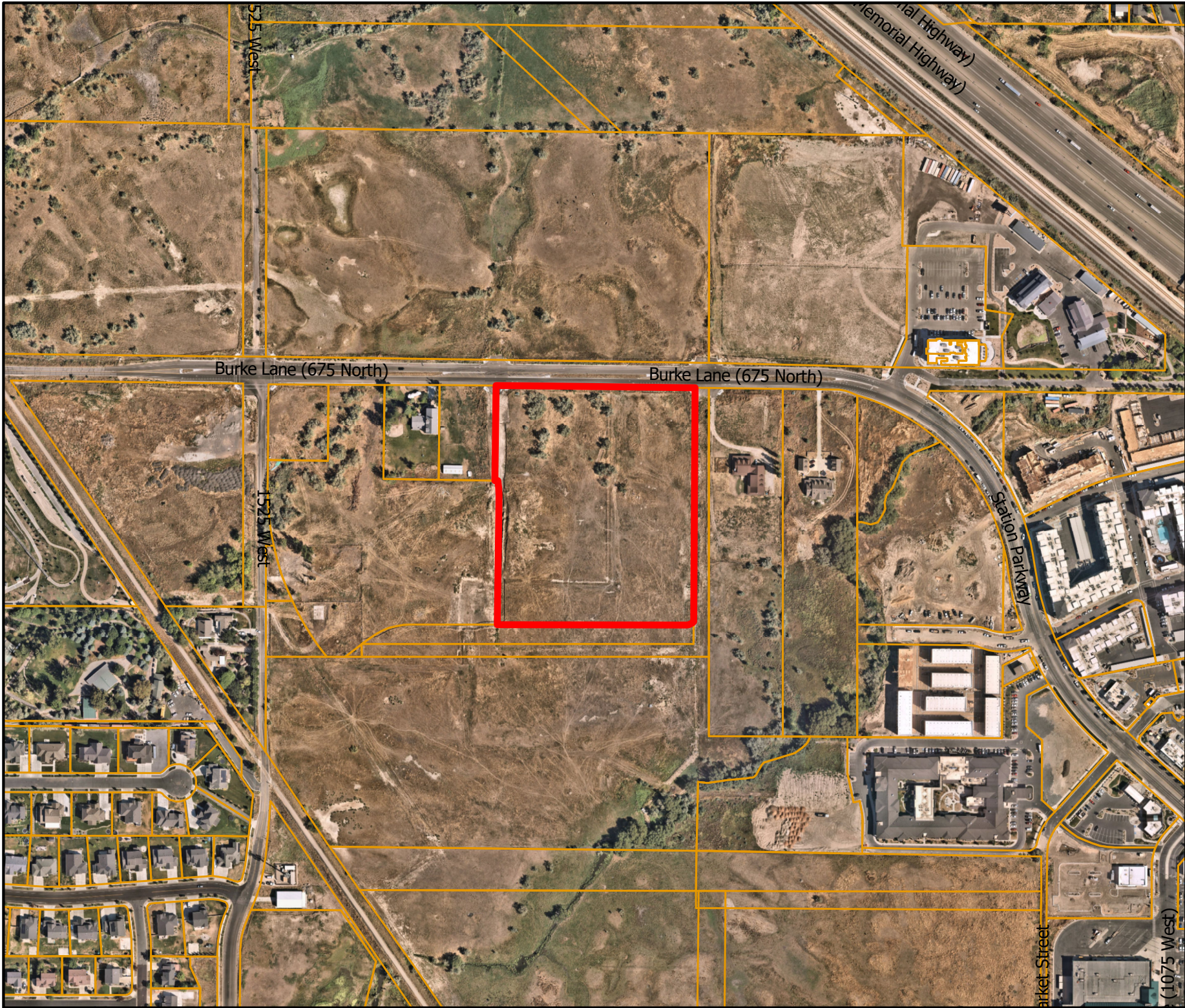
Suggested Motion

Move that the Planning Commission approve the final site plan and final plat for Lifetime Fitness subject to all applicable standards and regulations with the following condition:

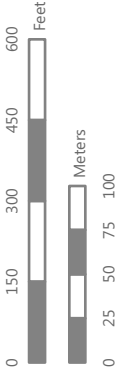
- Construction drawings shall not be stamped, no site improvements shall commence, and no building permit application may be applied for until all remaining technical comments have been addressed by the city and applicable reviewing agencies.

Supplemental Information

1. Vicinity Maps
2. Applicable Development Agreement
3. Site Plan and Supporting Plans
4. Subdivision Plat
5. Letters of Support



Disclaimer: This map was produced by Farmington City GIS and is for reference only. The information contained on this map is believed to be accurate and suitable for limited uses. Farmington City makes no warranty as to the accuracy of the information contained for any other purposes.

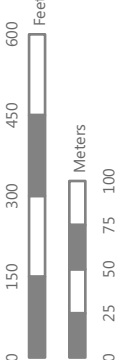


VICINITY MAP
Parcel 08-060-0063





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VICINITY MAP

Parcel 08-060-0063



Approved Development Agreement Language:

2. **Uses of the Property.** The uses of the Property and the respective areas of the Property designated for each such use shall be as set forth in the PMP and the Site Plan submitted by Developer, which is attached to this Agreement as "Exhibit C" and incorporated by reference. Specific development standards and processing shall be as follows:

- a. Notwithstanding provisions of the City's Zoning Ordinance, and as specifically permitted pursuant to Section 11-18-140 of the Farmington City Municipal Code, residential uses will not be allowed on the Property.
- b. The fitness center/health club shall be at least 80,000 sq. ft. in size.
- c. The siting of the building and overall site development plan shall be consistent with the provisions of the PMP.
- d. Building elevations shall be consistent with the provisions of the PMP. Elevations shall generally incorporate high quality materials and finishes as shown in the PMP.
- e. The block size for the fitness center / health club may deviate from block size requirements found in the City's Regulating Plan in Section 11-18-040 as shown in the attached PMP.
- f. In accordance with a prior agreement between FSC Development (the property owner at the time of this agreement), the parking area shown in the PMP shall be used as a shared parking area with approximately 184 stalls made available for the general public.
- g. Subject to City staff approval, Developer (at its sole cost and expense) will be permitted to install delivery/loading zone signage adjacent to Maker Way in the area shown on Exhibit D attached hereto.

Exhibit B

PROJECT MASTER PLAN

SITE DEVELOPMENT PLANS FOR LIFE TIME FARMINGTON 770 EAST OF THE EXISTING INTERSECTION OF BURKE LANE AND 1535 WEST, FARMINGTON, UT

BASE OF BEARING

THE BASE OF BEARING FOR THE SITE DEVELOPMENT PLANS IS THE NORTH ARROW SHOWN ON THE PLANS. THE NORTH ARROW IS BASED ON THE NORTH ARROW SHOWN ON THE PLANS.

BENCHMARK

THE BENCHMARK FOR THE SITE DEVELOPMENT PLANS IS THE BENCHMARK SHOWN ON THE PLANS.

LEGAL DESCRIPTION

THE LEGAL DESCRIPTION FOR THE SITE DEVELOPMENT PLANS IS THE LEGAL DESCRIPTION SHOWN ON THE PLANS.

SITE INFORMATION

PROJECT NAME	770 EAST OF THE EXISTING INTERSECTION OF BURKE LANE AND 1535 WEST, FARMINGTON, UT
CLIENT	770 EAST OF THE EXISTING INTERSECTION OF BURKE LANE AND 1535 WEST, FARMINGTON, UT
DESIGNER	770 EAST OF THE EXISTING INTERSECTION OF BURKE LANE AND 1535 WEST, FARMINGTON, UT
DATE	770 EAST OF THE EXISTING INTERSECTION OF BURKE LANE AND 1535 WEST, FARMINGTON, UT
SCALE	770 EAST OF THE EXISTING INTERSECTION OF BURKE LANE AND 1535 WEST, FARMINGTON, UT

CONSULTANTS

CONSULTANT NAME	770 EAST OF THE EXISTING INTERSECTION OF BURKE LANE AND 1535 WEST, FARMINGTON, UT
CONTACT PERSON	770 EAST OF THE EXISTING INTERSECTION OF BURKE LANE AND 1535 WEST, FARMINGTON, UT
PHONE	770 EAST OF THE EXISTING INTERSECTION OF BURKE LANE AND 1535 WEST, FARMINGTON, UT
EMAIL	770 EAST OF THE EXISTING INTERSECTION OF BURKE LANE AND 1535 WEST, FARMINGTON, UT

AGENCY CONTACTS

AGENCY NAME	770 EAST OF THE EXISTING INTERSECTION OF BURKE LANE AND 1535 WEST, FARMINGTON, UT
CONTACT PERSON	770 EAST OF THE EXISTING INTERSECTION OF BURKE LANE AND 1535 WEST, FARMINGTON, UT
PHONE	770 EAST OF THE EXISTING INTERSECTION OF BURKE LANE AND 1535 WEST, FARMINGTON, UT
EMAIL	770 EAST OF THE EXISTING INTERSECTION OF BURKE LANE AND 1535 WEST, FARMINGTON, UT

VICINITY MAP



SHEET INDEX

SHEET NUMBER	SHEET TITLE
1	770 EAST OF THE EXISTING INTERSECTION OF BURKE LANE AND 1535 WEST, FARMINGTON, UT
2	770 EAST OF THE EXISTING INTERSECTION OF BURKE LANE AND 1535 WEST, FARMINGTON, UT
3	770 EAST OF THE EXISTING INTERSECTION OF BURKE LANE AND 1535 WEST, FARMINGTON, UT
4	770 EAST OF THE EXISTING INTERSECTION OF BURKE LANE AND 1535 WEST, FARMINGTON, UT

GENERAL NOTE

1. THE SITE DEVELOPMENT PLANS ARE BASED ON THE BASE OF BEARING SHOWN ON THE PLANS.
2. THE BENCHMARK FOR THE SITE DEVELOPMENT PLANS IS THE BENCHMARK SHOWN ON THE PLANS.
3. THE LEGAL DESCRIPTION FOR THE SITE DEVELOPMENT PLANS IS THE LEGAL DESCRIPTION SHOWN ON THE PLANS.
4. THE SITE INFORMATION FOR THE SITE DEVELOPMENT PLANS IS THE SITE INFORMATION SHOWN ON THE PLANS.
5. THE CONSULTANTS FOR THE SITE DEVELOPMENT PLANS ARE THE CONSULTANTS SHOWN ON THE PLANS.
6. THE AGENCY CONTACTS FOR THE SITE DEVELOPMENT PLANS ARE THE AGENCY CONTACTS SHOWN ON THE PLANS.
7. THE VICINITY MAP FOR THE SITE DEVELOPMENT PLANS IS THE VICINITY MAP SHOWN ON THE PLANS.
8. THE SHEET INDEX FOR THE SITE DEVELOPMENT PLANS IS THE SHEET INDEX SHOWN ON THE PLANS.
9. THE COVER SHEET FOR THE SITE DEVELOPMENT PLANS IS THE COVER SHEET SHOWN ON THE PLANS.
10. THE NOT FOR CONSTRUCTION FOR THE SITE DEVELOPMENT PLANS IS THE NOT FOR CONSTRUCTION SHOWN ON THE PLANS.
11. THE LIFE TIME FARMINGTON FOR THE SITE DEVELOPMENT PLANS IS THE LIFE TIME FARMINGTON SHOWN ON THE PLANS.
12. THE FARMINGTON, UT FOR THE SITE DEVELOPMENT PLANS IS THE FARMINGTON, UT SHOWN ON THE PLANS.
13. THE 770 EAST OF THE EXISTING INTERSECTION OF BURKE LANE AND 1535 WEST, FARMINGTON, UT FOR THE SITE DEVELOPMENT PLANS IS THE 770 EAST OF THE EXISTING INTERSECTION OF BURKE LANE AND 1535 WEST, FARMINGTON, UT SHOWN ON THE PLANS.
14. THE 770 EAST OF THE EXISTING INTERSECTION OF BURKE LANE AND 1535 WEST, FARMINGTON, UT FOR THE SITE DEVELOPMENT PLANS IS THE 770 EAST OF THE EXISTING INTERSECTION OF BURKE LANE AND 1535 WEST, FARMINGTON, UT SHOWN ON THE PLANS.
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LIFE TIME
PROPERTY DEVELOPMENT

LIFE TIME
PROPERTY DEVELOPMENT

Kimley-Horn

THE SITE DEVELOPMENT PLANS

LIFE TIME FARMINGTON
FARMINGTON, UT

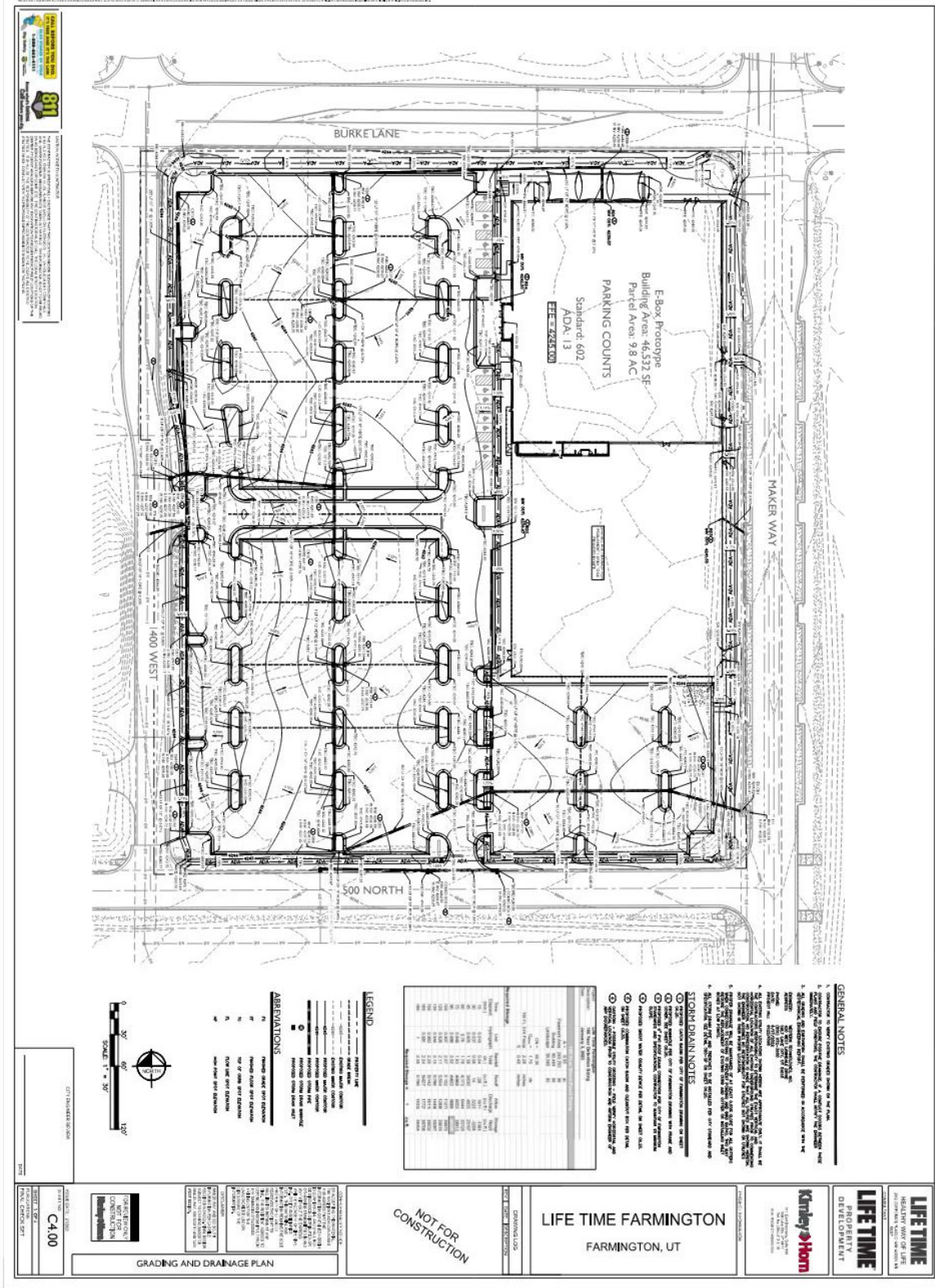
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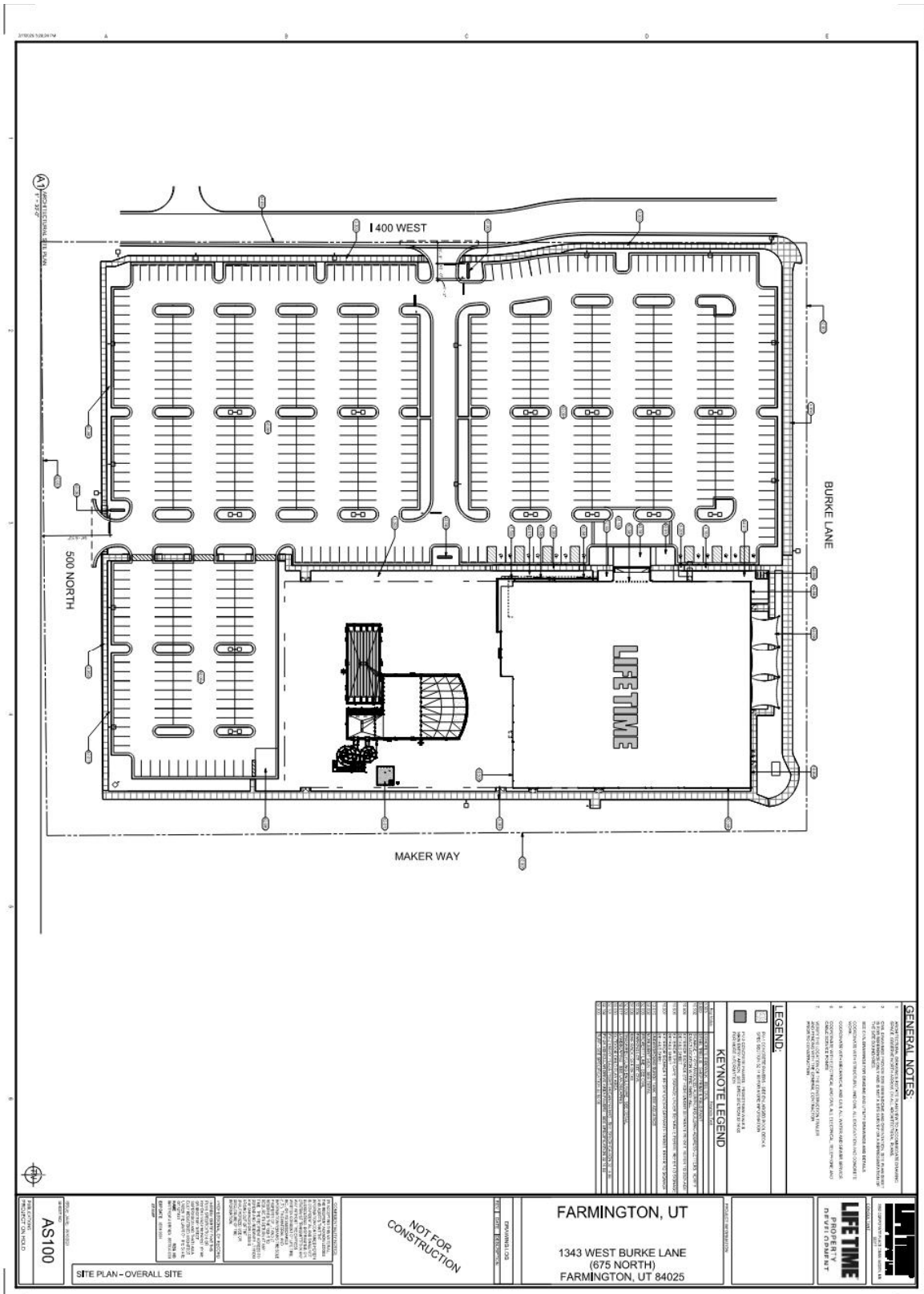
COVER SHEET

C0.00

770 EAST OF THE EXISTING INTERSECTION OF BURKE LANE AND 1535 WEST, FARMINGTON, UT







FIRST FLOOR PLAN
FEBURARY 2025

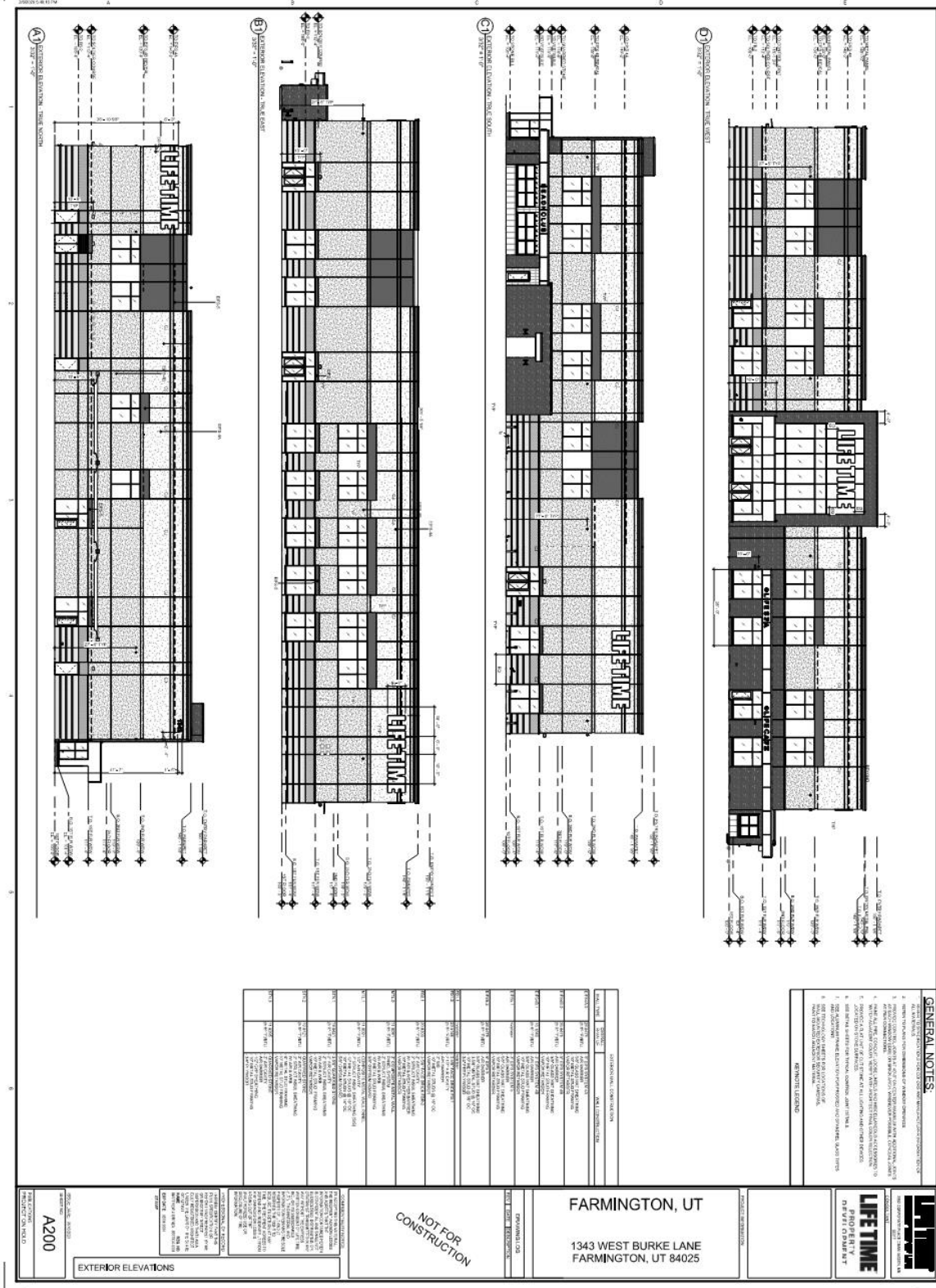
FARMINGTON, UT



LIFE TIME
HEALTHY. MADE FOR LIFE.

FARMINGTON, UT





FARMINGTON, UT

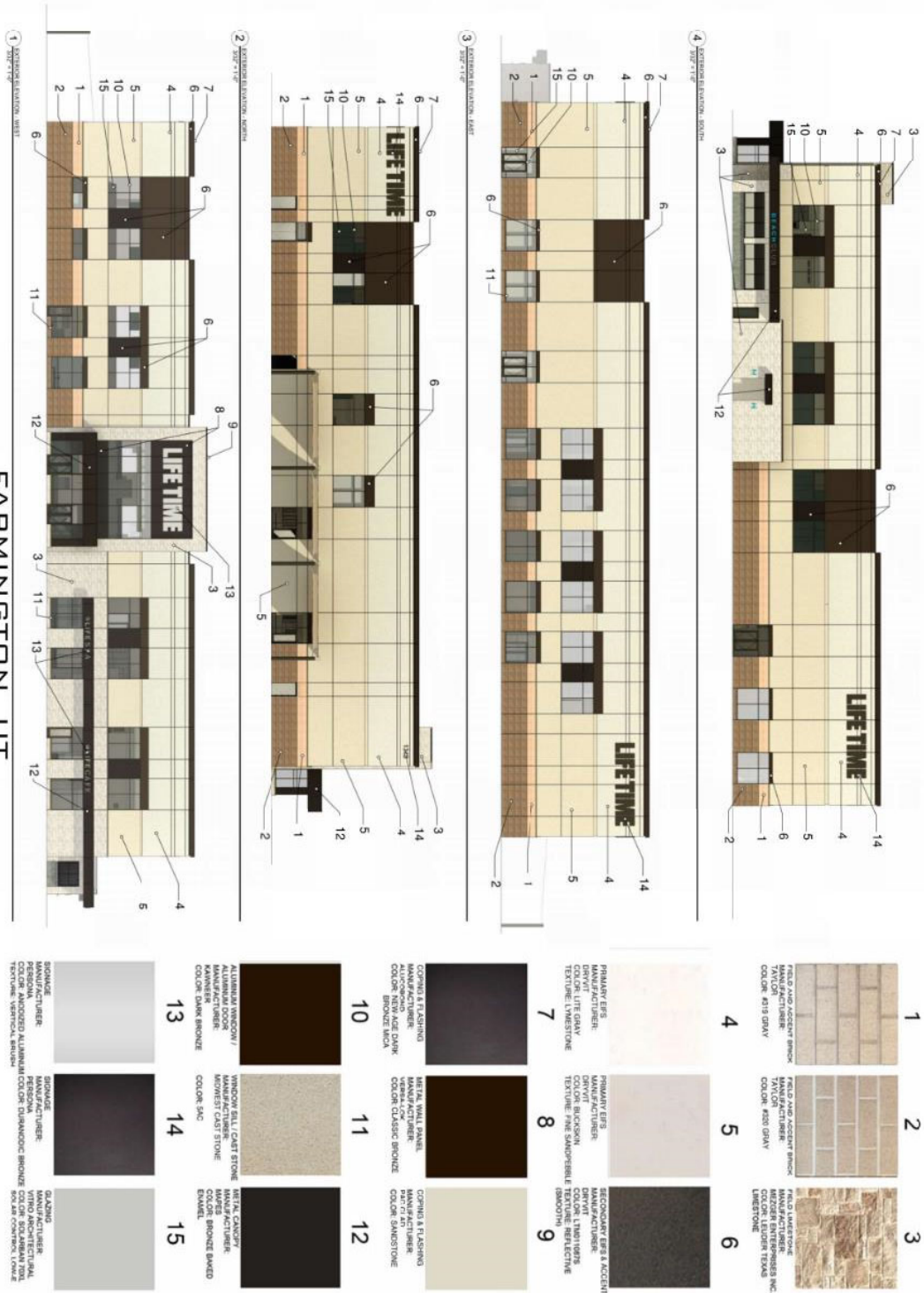


Exhibit C

SITE PLAN AND ACCOMPANYING DOCUMENTS

Exhibit D

DELIVERY AND LOADING ZONE

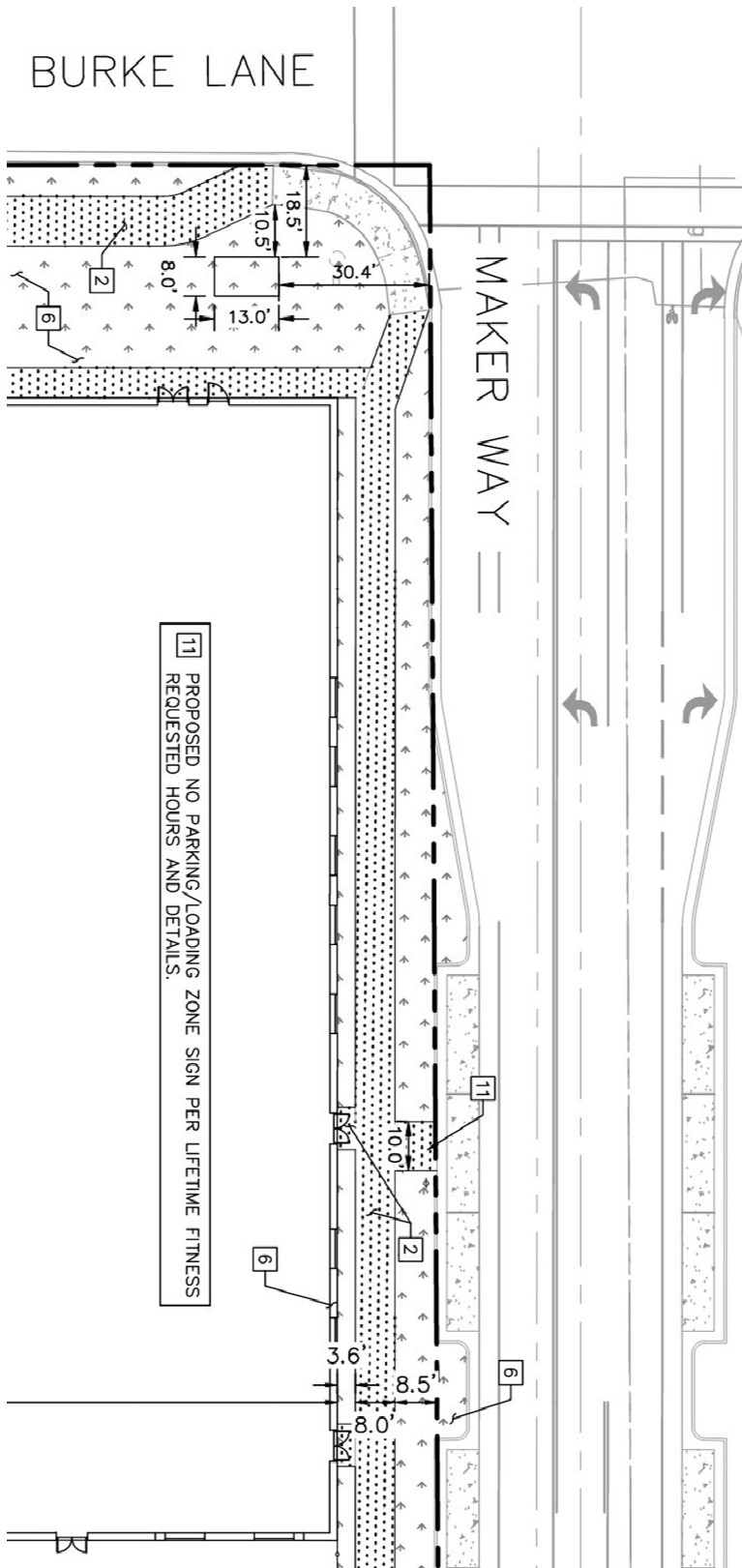


Exhibit E

COMPLETED ROAD AND UTILITY PLANS FOR MAKER WAY

May 8th, 2025

Life Time Farmington



LIFETIME



Life Time Club Highlights

Life Time Farmington

- ✓ Resort-Like Amenities and Programming
- ✓ Luxury Interior & Exterior Design



Site Plan

- ✓ Enhanced Circulation & Safety
- ✓ Pedestrian Connectivity
- ✓ Improved Access
- ✓ Resort-style Landscaping
- ✓ Maintained Parking Easement for users of Ivy Acres Park



Architecture

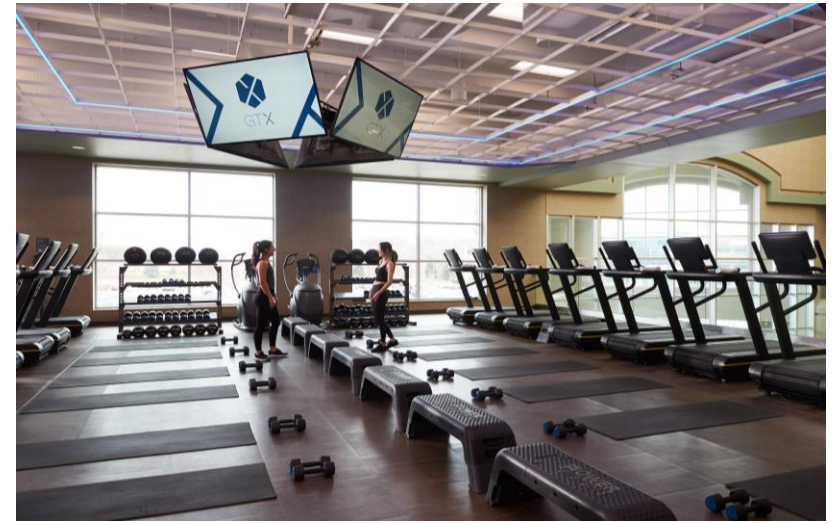
- Resort-like feel
- Timeless, durable materials
- Variety of forms & textures
- Brick, stone, metal panel, and EIFS



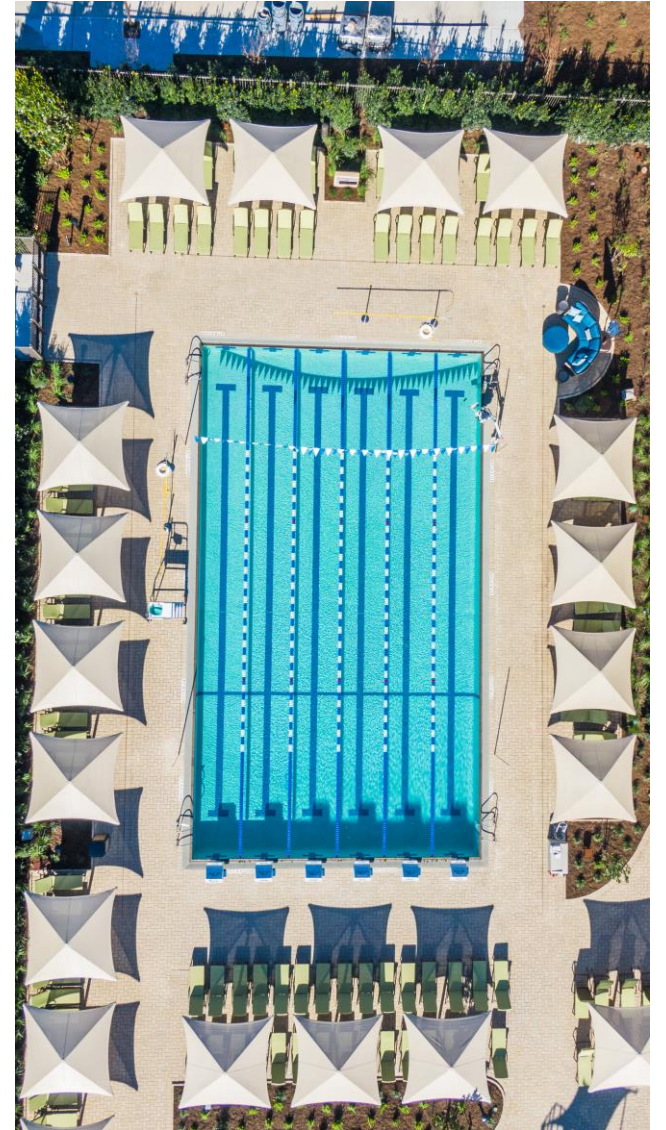
Interior – Look, Feel, Amenities



Interior – Look, Feel, Programming



Exterior – Look, Feel, Amenities



Questions?

Ross Stickler

651-707-3186

RStickler@lt.life



First Floor Plan

- Indoor Lap & Leisure Pool
- Luxury locker rooms with wet spa
- Café
- Kids Academy
- Life Time Work lounge

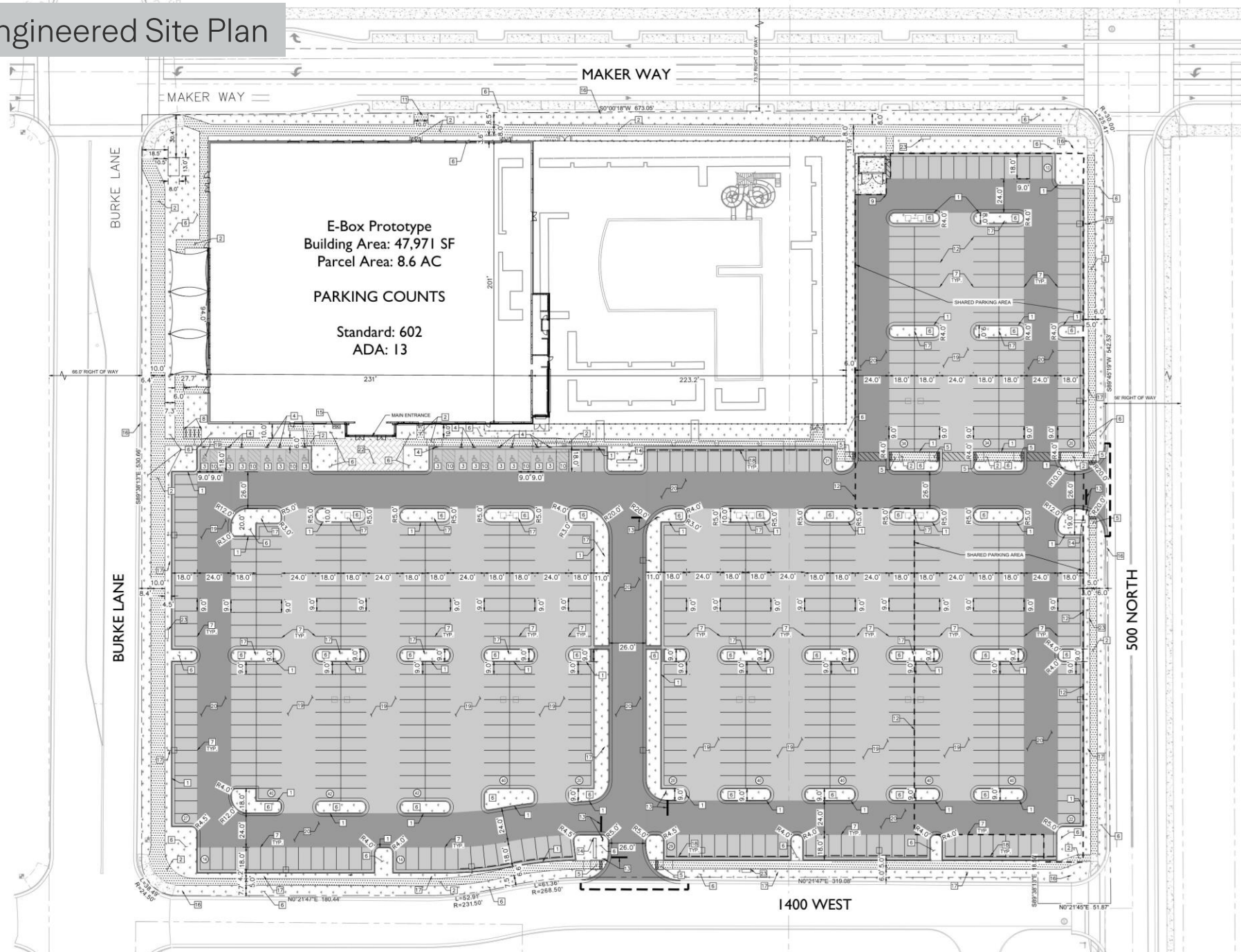


Second Floor Plan

- (3) Pickleball Courts
- Free Weights / Resistance
- Studio classrooms
- Recovery
- Signature Group Training



Engineered Site Plan



CONSTRUCTION NOTES

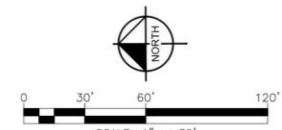
- 1. CONSTRUCT 6" TYPE A VERTICAL CURB AND GUTTER PER DETAIL ON SHEET 06.10.
- 2. PROPOSED SIDEWALK PER DETAIL ON SHEET 06.10.
- 3. ADA PARKING STALL. REFER TO SHEET 06.20 FOR STRIPING DETAILS.
- 4. FURNISH AND INSTALL ADA SIGN AND POST PER DETAIL ON 06.20.
- 5. FURNISH AND INSTALL CURB RAMP WITH DETECTABLE WARNING SURFACE PER DETAIL ON SHEET 06.10.
- 6. LANDSCAPE AREA (TYP). REFER TO LANDSCAPE PLAN FOR DETAILS.
- 7. PAINT 4" WIDE WHITE PARKING STRIPING PER MUTCD STANDARDS AND SPECIFICATIONS.
- 8. BICYCLE PARKING RACK. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- 9. TRASH ENCLOSURE LOCATION. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- 10. INSTALL 4" SOLID YELLOW LINE AT 24" SPACING AND 45° ANGLE WITHIN 4" SOLID YELLOW OUTLINE PER MUTCD STANDARDS AND SPECIFICATIONS.
- 11. PROPOSED NO PARKING/LOADING ZONE SIGN PER LIFETIME FITNESS REQUESTED HOURS AND DETAILS.
- 12. PROPOSED SHARED PARKING AREA.
- 13. STOP BAR AND STOP SIGN PER MUTCD STANDARDS.
- 14. PROPOSED MONUMENT SIGN. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- 15. PROPOSED FDC LOCATION. REFER TO UTILITY PLANS FOR DETAILS.
- 16. PROPOSED STREET LIGHT POLE. REFER TO DETAIL ON SHEET 06.10 FOR DETAILS.
- 17. PROPOSED INTERIOR PARKING LIGHT POLE. REFER TO LIGHTING PLANS FOR DETAILS.
- 18. CONCRETE WHEEL STOP. REFER TO DETAIL ON SHEET 06.20 FOR DETAILS.
- 19. CONSTRUCT STANDARD DUTY ASPHALT PAVEMENT PER PAVEMENT SECTION ON SHEET 06.10.
- 20. CONSTRUCT HEAVY DUTY ASPHALT PAVEMENT PER PAVEMENT SECTION ON SHEET 06.10.
- 21. CONSTRUCT HEAVY DUTY CONCRETE PAVEMENT PER PAVEMENT SECTION ON SHEET 06.10.
- 22. PROPOSED PEDESTRIAN PAVERS. REFER TO LANDSCAPE PLANS FOR DETAILS.
- 23. PROPOSED BENCH PER CITY OF FARMINGTON DETAIL ON SHEET 06.30, OR APPROVED EQUIVALENT.

SITE DATA

SITE LOCATION	SOUTHWEST QUADRANT OF 1525 W. AND BURKE LN. FARMINGTON, DAVIS COUNTY, UTAH
TOTAL SITE AREA	8.6 ACRES
BUILDING AREA	47,971 S.F. (12.8%)
OUTDOOR AMENITY AREA	43,685 S.F. (11.6%)
PARKING AND SERVICE AREA	230,809 S.F. (81.3%)
LANDSCAPE AREA	53,625 S.F. (14.3%)
EXISTING ZONING	OFFICE MIXED USE (OMU)
EXISTING USE	UNDEVELOPED
PROPOSED USE	FITNESS AND RECREATION FACILITY (PERMITTED)
BUILDING HEIGHT	2-STORY (3-STORY MAX ALLOWED)
BUILDING SETBACKS	
FRONT (BUILD-TO-RANGE)	MIN: 0' MAX: 20'
SIDE	LOCAL ROADS: 5' COLLECTOR ROADS: 0'
REAR	LOCAL ROADS: 10' COLLECTOR ROADS: 10'
PARKING REQUIREMENTS	DETERMINED BY PLANNING COMMISSION
OFF STREET PARKING STALLS PROVIDED	602 STALLS
ADA PARKING STALLS PROVIDED	13 STALLS (2% OF TOTAL STALLS)
PARKING DIMENSIONS	9 FEET X 18 FEET 24 FOOT DRIVE AISLES BURKE LANE IS A PRINCIPAL ROAD / MAJOR COLLECTOR - 10' PARK STRIP - 10' SIDEWALK - FRONT BUILD TO RANGE: 0' - 20'
ROAD CLASSIFICATION	

LEGEND

- PROPOSED PROPERTY LINE
- PROPOSED CURB AND GUTTER
- PROPOSED SAWCUT LINE
- PROPOSED STANDARD ASPHALT PAVEMENT
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED PEDESTRIAN PAVERS
- PROPOSED HEAVY DUTY VEHICLE RATED PAVERS
- PROPOSED LANDSCAPE, REFERENCE LANDSCAPE PLANS
- EXISTING CONCRETE SIDEWALK
- PROPOSED CONCRETE SIDEWALK



KimleyHorn
111 East Broadway, Suite 900
Salt Lake City, UT 84111
Tel. No. (385) 212-2178
FAX PROJECT #00001000

PROJECT INFORMATION
LIFE TIME FARMINGTON
FARMINGTON, UT

DRAWING LOG		
REV	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

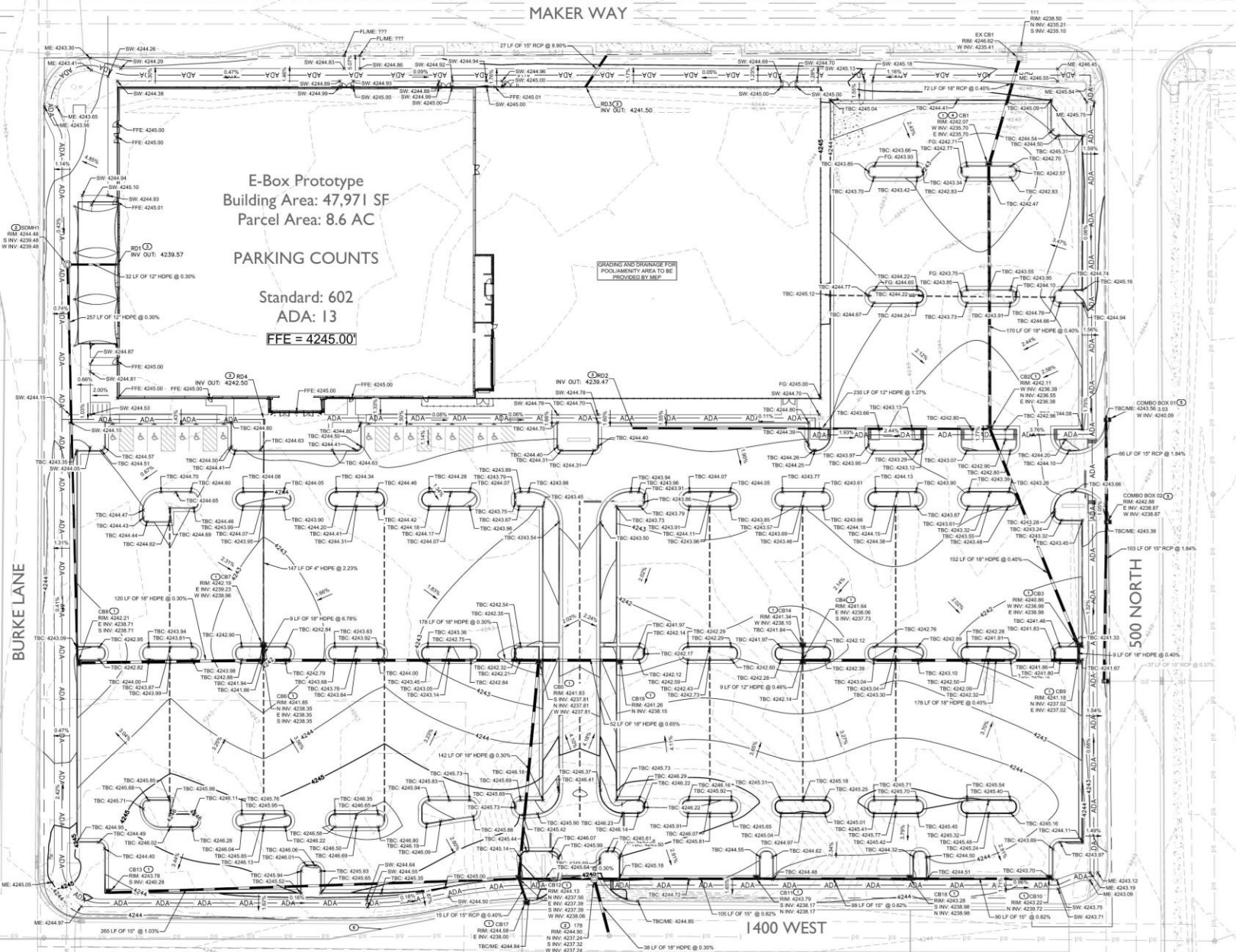
CONFIDENTIALITY NOTICE
BY ACCEPTING THIS MATERIAL, THE RECIPIENT ACKNOWLEDGES AND AGREES THAT THE INFORMATION CONTAINED HEREIN IS CONFIDENTIAL AND SHALL NOT BE DISCLOSED, DISTRIBUTED, OR OTHERWISE TRANSMITTED IN ANY WAY WITHOUT THE EXPRESS WRITTEN CONSENT OF LIFE TIME, INC. OR ITS SUBSIDIARIES. (I.T.) THIS MATERIAL AND INFORMATION REMAINS THE SOLE PROPERTY OF I.T. AND I.T. RESERVES THE RIGHT TO REQUIRE ITS RETURN AT ANY TIME. THE RECIPIENT AGREES TO DEFEND AND INDEMNIFY I.T. FROM ANY DAMAGES OR LOSSES ARISING OUT OF THE UNAUTHORIZED USE OR DISCLOSURE OF THE INFORMATION.

DISCLAIMER
MAKER WAY AND 1400 WEST INFORMATION PER CAD FILE RECEIVED 6/30/2022. FINAL DESIGN SUBJECT TO CHANGE BASED ON MAKER WAY, 1400 SOUTH AND 1400 WEST DESIGN.

PRELIMINARY
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

OVERALL SITE PLAN

Grading Plan



GENERAL NOTE

1. CONTRACTOR TO VERIFY EXISTING GRASSES SHOWN ON THE PLAN.
2. CONTRACTOR TO ENSURE POSITIVE DRAINAGE. IF A CONFLICT OCCURS BETWEEN THESE PLANS AND FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
3. ALL GRADING AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT.
- ENGINEER: WESTON TECHNOLOGIES, INC.
ADDRESS: 420 WEST LAMARQUE DRIVE
SALT LAKE CITY, UT 84115
PHONE: (801) 972-3650
6/17/2022
PROJECT NO: 212207000
4. ALL EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL UTILITIES ARE SHOWN HEREIN. THE ENGINEER ASSUMES NO LIABILITY FOR UTILITIES NOT SHOWN OR NOT SHOWN IN THEIR PROPER LOCATION.
5. PROPER DRAINAGE WILL BE MAINTAINED AT LEAST 0.5% SLOPE FOR ALL GUTTERS AND DRAINAGE POINTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DRAINAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF EXISTING CURBS AND GUTTER OR INSTALLING INLET AND LOW POINTS.
6. ALL STORM DRAIN PIPE AND TRENCHES TO BE INSTALLED PER CITY STANDARD AND SPECIFICATION. SEE DETAIL_380-09 ON SHEET C620.

STORM DRAIN NOTES

1. PROPOSED CATCH BASIN PER CITY OF FARMINGTON DRAWING ON SHEET 06.20.
2. PROPOSED MANHOLE PER CITY OF FARMINGTON DRAWING WITH FRAME AND COVER. SEE SHEET 06.20.
3. PROPOSED 8" PVC ROR DRAIN CONNECTION PER CITY OF FARMINGTON STANDARDS AND SPECIFICATIONS. CONTRACTOR TO MAINTAIN 1% MINIMUM SLOPE.
4. PROPOSED SHOUT WATER QUALITY DEVICE PER DETAIL ON SHEET 06.20.
5. PROPOSED COMBINATION CATCH BASIN AND CLEANOUT BOX PER DETAIL ON SHEET 06.30.
6. CAUTION - POSSIBLE UTILITY CROSSING - FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION AND INFORM ENGINEER OF ANY DISCREPANCIES.

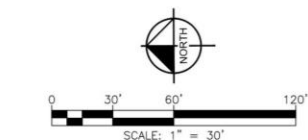
Project: Description: Date:	Life Time Farmington 100 Year Detention Sizing				
	January 3, 2023				
100 Year Storm Pond Sizing					
A = 8.5					
Pavement Area		230.89	98		
Building		91.656	98		
Landscape		53.625	80	Building area + Outdoor Amenity Area	
CK = 95.30					
Q _{max} =		1.79	cfs		
100-Yr. 3-H Precip		2.28	inches		
S		0.49	inches		
Required Storage					
Time Elapsed (min.)	Unit Hydrograph	Rainfall Total (in.)	Runoff (cu ft)	Allow. Discharge (cu ft/s)	Storage Req'd (cu ft)
5	0.019	0.04	228	1611	-1383
30	0.037	0.08	14	3222	-3208
45	0.020	1.38	30320	4633	25197
75	1.78	1.78	42173	6444	35729
85	0.848	0.83	9055	3055	30913
90	0.888	2.02	49052	9666	
105	0.907	2.07	51152	11272	39875
120	0.926	2.11	52504	12882	39816
135	0.944	2.15	53786	14499	39287
150	0.963	2.20	55142	16110	39032
165	0.981	2.24	56427	17721	38706
180	1	2.28	57796	19332	38454
Required Storage =					0 cu. ft.

LEGEND

-

ABREVIATIONS

- | | |
|----|-------------------------------|
| FG | FINISHED GRADE SPOT ELEVATION |
| FF | FINISHED FLOOR SPOT ELEVATION |
| TC | TOP OF CURB SPOT ELEVATION |
| FL | FLOW LINE SPOT ELEVATION |
| HP | HIGH POINT SPOT ELEVATION |



DEVELOPMENT

Kimley»Horn

East Broadway, Suite 600
Salt Lake City, UT 84111
tel. No. (385) 212-3178
PROJECT #093931000

PROJECT INFORMATION

LIFE TIME FARMINGTON
FARMINGTON, UT

DRAWING LOG	
DATE	DESCRIPTION

NOT FOR
CONSTRUCTION

CONFIDENTIALITY NOTICE

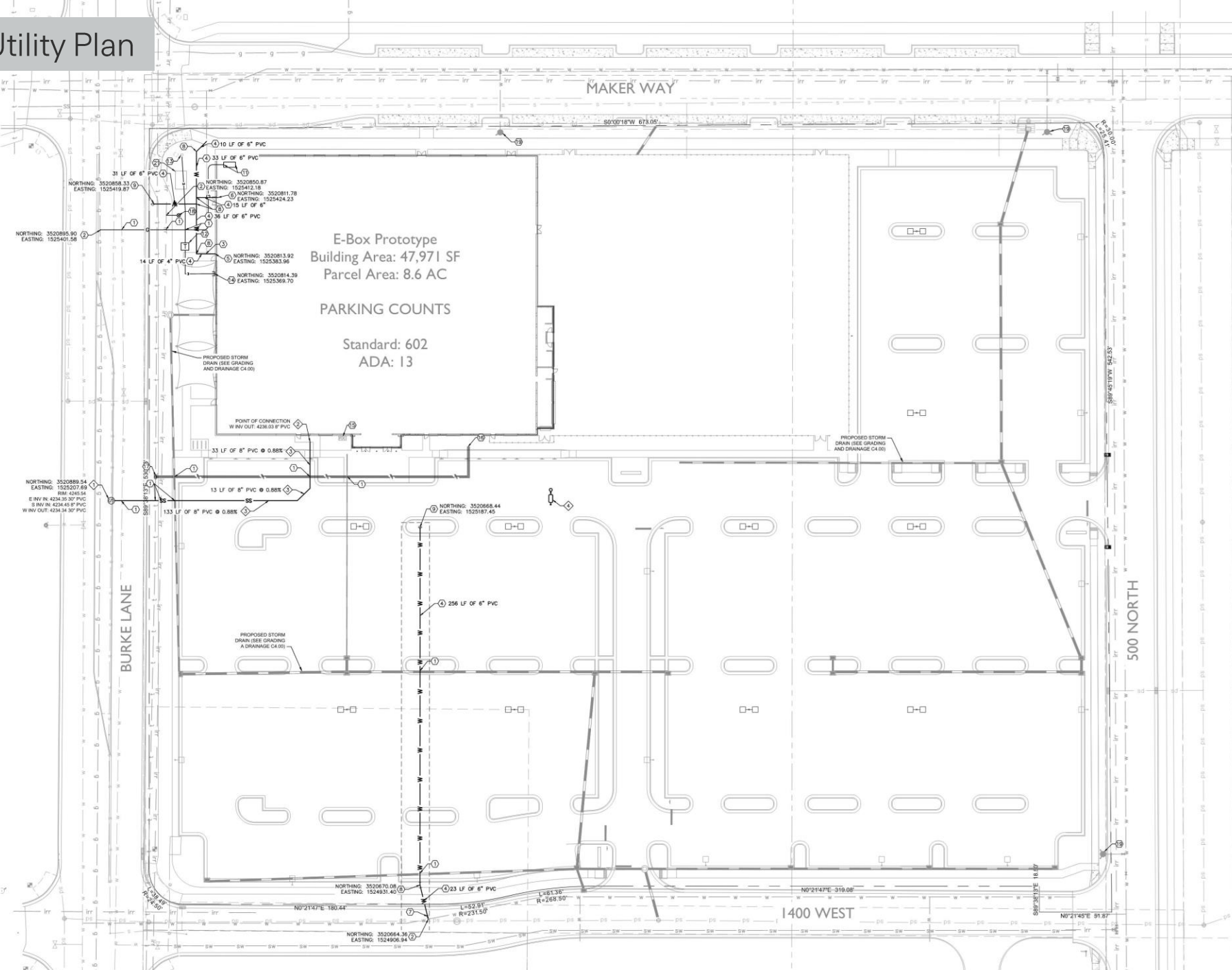
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DISCLAIMER
ER WAY AND 500 SOUTH
FORMATION PER CAD FILE
EIVED 6/30/2022. FINAL DESIGN
JECT TO CHANGE BASED ON
ER WAY, 500 SOUTH AND 1400
IT DESIGN

PRELIMINARY
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CONSTRUCTION

GRADING AND DRAINAGE PLAN

Utility Plan



1. ALL EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE. ONLY IF IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL UTILITIES ARE SHOWN HEREIN. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.
2. ALL ABOVE GROUND UTILITY APPEARANCES SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED GRADE ELEVATIONS.
3. CONTRACTOR TO FIELD VERIFY EXISTING INVERT ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
4. PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
5. PROJECT SHALL COMPLY WITH ALL FARMINGTON CITY STANDARDS.
6. ALL CONSTRUCTION IN THE SANITARY SEWER LINE PUMP ZONE SHALL COMPLY WITH ALL CENTRAL DAVIS SEWER DISTRICT STANDARDS.
7. ALL FIRE HYDRANTS ARE TO BE CROW.
8. ALL VALVES ARE TO BE MUELLER OR CROW.
9. ALL WATER METERS IN CONCRETE WILL BE INSTALLED WITH A 30" METER BOX WITH A TRAFFIC RATE I.D.
10. ALL WATER PIPE TRENCHES TO BE INSTALLED PER CITY OF FARMINGTON STANDARDS AND SPECIFICATIONS. SEE CITY OF FARMINGTON DETAIL 565 SP ON SHEET C6.20.
11. ALL SEWER PIPE TRENCHES TO BE INSTALLED PER CENTRAL DAVIS SEWER DISTRICT STANDARDS AND SPECIFICATIONS. SEE CITY DETAIL 102 ON SHEET C6.10.
12. PROPOSED WATERLINES ARE PRIVATELY OWNED AND MAINTAINED BY LIFETIME.

UTILITY NOTES

1. CAUTION - POSSIBLE UTILITY CROSSING - FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION AND INFORM ENGINEER OF ANY DISCREPANCIES.
2. CONNECT TO EXISTING.
3. FURNISH AND INSTALL 8"x5', 4" METER BOX AND 3" METER AND SERVICE TO BE INSTALLED PER FARMINGTON CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR DETAIL ON C6.10.
4. FURNISH AND INSTALL C900 DR-14 PVC DOMESTIC SERVICE PER FARMINGTON CITY STANDARDS. SIZE AND LENGTH PER PLAN.
5. PROPOSED 4" WATER STUB 5' FROM BUILDING. SEE MEP PLANS FOR CONTINUATION.
6. PROPOSED 6" FIRE STUB 5' FROM BUILDING. BP BACKFLOW PREVENTOR LOCATED IN FIRE RISER ROOM. SEE MEP PLANS FOR CONTINUATION.
7. FURNISH AND INSTALL WATER VALVE PER FARMINGTON CITY STANDARDS. REFER TO DETAIL ON SHEET 6.10.
8. FURNISH AND INSTALL BEND OR TEE WITH CONCRETE THRUST BLOCK PER DETAIL ON C6.20 REFER TO FARMINGTON CITY STANDARDS FOR MATERIAL AND CONSTRUCTION SPECIFICATIONS.
9. PROPOSED FIRE HYDRANT. REFER TO DETAIL ON SHEET 6.10.
10. WATERLINE VERTICAL LOOP UNDER EXISTING 30" RCP STORM DRAIN. REFER TO DETAIL ON SHEET 6.20.
11. 2" GAS SERVICE AND METER. CONTRACTOR SHALL COORDINATE EXACT LOCATION WITH COMMON ENERGY. SEE BUILDING/PLUMBING PLANS FOR EXACT LOCATION OF METER.
12. PROPOSED PAD-MOUNTED TRANSFORMER. CONTRACTOR SHALL COORDINATE EXACT LOCATION AND INSTALLATION OF TRANSFORMER AND LINE WITH ROCKY MOUNTAIN POWER.
13. CONNECT TO EXISTING ELECTRICAL SERVICE. CONTRACTOR SHALL COORDINATE ROUTING AND CONNECTION POINT WITH ROCKY MOUNTAIN POWER.
14. PROPOSED ELECTRICAL STUB 5' FROM BUILDING. SEE MEP PLANS FOR CONTINUATION.
15. FURNISH AND INSTALL FIRE DEPARTMENT CONNECTION (FDC). REFER TO MEP PLANS FOR CONTINUATION.
16. PROPOSED (2) 4" AND (2) 2" TELECOM STUB. SEE MEP PLANS FOR CONTINUATION.
17. TELECOM MANHOLES PER UTILITY COMPANY.
18. PROPOSED 1.5" IRRIGATION METER AND POINT OF CONNECTION PER CITY OF FARMINGTON STANDARDS ON SHEET C6.30. SEE IRRIGATION PLANS FOR CONTINUATION.
19. EXISTING FIRE HYDRANT TO REMAIN AND BE PROTECTED IN PLACE.
20. PROPOSED VERTICAL BEND. REFER TO SHEET. C6.20 FOR DETAILS.
21. EXISTING SWITCHGEAR TO REMAIN IN PLACE.

SANITARY SEWER NOTES

1. FURNISH AND INSTALL SANITARY SEWER MANHOLE AND CONNECT TO EXISTING SANITARY SEWER LINE PER CENTRAL DAVIS SEWER DISTRICT STANDARDS AND SPECIFICATIONS. REFER TO DETAIL ON SHEET C6.10.
2. POINT OF CONNECTION. SEE MEP PLANS FOR CONTINUATION.
3. FURNISH AND INSTALL PRIVATE 8" PVC ASTM D 3034, SDR-35 PIPE. CONTRACTOR TO MAINTAIN 4" MINIMUM COVER. SEE SHEET C6.10 FOR PROFILE.
4. FURNISH AND INSTALL GREASE TRAP. SEE MEP PLANS FOR DETAILS.

LEGEND

---	PROPERTY LINE
W	EXISTING WATER LINE
W	PROPOSED WATER LINE
IT	EXISTING IRRIGATION LINE
IT	PROPOSED IRRIGATION LINE
S	EXISTING SANITARY SEWER LINE
SS	PROPOSED SANITARY SEWER LINE
G	EXISTING GAS LINE
G	PROPOSED GAS LINE
P	EXISTING POWER LINE
E	PROPOSED POWER LINE
I	EXISTING UNDERGROUND TELECOM LINE
T	PROPOSED UNDERGROUND TELECOM LINE
SD	EXISTING STORM DRAIN LINE
SD	PROPOSED STORM DRAIN LINE
W	EXISTING FIREHYDRANT
W	PROPOSED FIREHYDRANT
W	EXISTING WATER VALVE
W	PROPOSED WATER VALVE
W	EXISTING WATER METER
W	PROPOSED WATER METER
W	PROPOSED SANITARY SEWER MANHOLE

Kimley Horn

111 East Broadway, Suite 900
Salt Lake City, UT 84103
Tel. No. (801) 212-5171
FAX PROJECT #000010000

PROJECT INFORMATION

LIFE TIME FARMINGTON

FARMINGTON, UT

DRAWING LOG		
REV	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

CONFIDENTIALITY NOTICE

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DISCLAIMER

MAKER WAY AND 500 SOUTH INFORMATION PER CAD FILE RECEIVED 6/20/2022. FINAL DESIGN SUBJECT TO CHANGE BASED ON MAKER WAY AND 500 SOUTH AND 1400 WEST DESIGN.

UTILITY PLAN

PRELIMINARY
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Landscape Plan

TREES TO ALIGN ON CENTER WITH PARKING STALLS, TYP.

BE-201

TRANSFORMER

LIFE TIME

POOL DECK LANDSCAPING TO BE PROVIDED IN FUTURE DESIGN PHASE

PEDESTRIAN PAVERS

H-101

MONUMENT SIGN

LIGHT POLE, TYP.

MONUMENT SIGN

MONUMENT SIGN

TREES

AG	Amelanchier x grandiflora 'Autumn Brilliance'	3" Cal.	12-14' Ht.	4
CO	Autumn Brilliance Serviceberry	2" Cal.	B&B	10' HT MIN.
GS	Celtis occidentalis 'Skyline'	2" Cal.	B&B	10' HT MIN.
GI	Gleditsia triacanthos 'Skyline'	2" Cal.	B&B	10' HT MIN.
GP	Gymnocladus dioica 'Mott' / Branches	2" Cal.	B&B	10' HT MIN.
KP	Koeleria paniculata 'Golden Rain Tree'	2" Cal.	B&B	10' HT MIN.
ZC	Zelkova serrata 'JFS-KW1'	2" Cal.	B&B	10' HT MIN.
ZG	Zelkova serrata 'Green Vase'	2" Cal.	B&B	10' HT MIN.

EVERGREEN TREES

JS	Juniperus chinensis 'Spartan'	1" Cal.	6' Ht. Min.	20
JM	Juniperus scopulorum 'Moonglow'	1" Cal.	B&B	5' HT
JG	Juniperus scopulorum 'Gray Green'	1" Cal.	B&B	5' HT
TH	Taxus x media 'Hicks'	1" Cal.	6' Ht. Min.	103

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
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SHRUBS

BR	Berberis thunbergii 'Ballade' TM	5 gal.		57
BC	Berberis thunbergii 'Crimson Pygmy'	5 gal.	MATCHING	76
CK	Calamagrostis x acutiflora 'Karl Foerster'	1 gal.		143
CK2	Calamagrostis x acutiflora 'Karl Foerster'	3 gal.	12" HT MIN	86
CH2	Cornus alba 'Balthus' TM	5 gal.	MATCHING	106
CK3	Cornus sericea 'Kelsey'	5 gal.		27
HH	Katsey's Dwarf Red Twig Dogwood	1 gal.	MATCHING	235
JB2	Juniperus horizontalis 'Blue Chip'	1 gal.	MATCHING	241
LL	Ligustrum x vicaryi 'Lodense'	5 gal.	MATCHING	40
PS	Panicum virgatum 'Shenandoah'	3 gal.	12" HT MIN	39
PH	Pennisetum alopecuroides 'Hameln'	1 gal.	MATCHING	485
PL2	Physocarpus opulifolius 'Little Devil' TM	5 gal.	MATCHING	35
PP	Prunus besseyi 'P0115' TM	5 gal.		42
PO	Prunus laurocerasus 'Otto Luyken'	5 gal.	24" FULL	15
RG	Rhus aromatica 'Gro-Low'	5 gal.	MATCHING	123

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
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GROUND COVERS

ANN	ANNUALS	—	18 sf
TB	Turf Sod Biogras	—	1,736 sf

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
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CONCRETE		
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BE-201	Concrete Edge	25 #
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PLANTERS		
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H-101	PLANTER POTS - BASIS OF DESIGN: Landscape Forms Dune Planter (DS-23), Color: Sandstone	
-------	--	--

MULCH		
-------	--	--

1"	Screened Angular Stone, Color: Tan; 3" Depth	49,553 sf
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PAVING		
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Pavers in Entry Plaza (PV-2)		1,096 sf
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See Specifications Section 32 14 00		
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LANDSCAPE REQUIREMENTS

ZONING: OMU (Office Mixed Use)
TOTAL SITE AREA: 374,616 SF (8.6 Ac)
TOTAL LANDSCAPE AREA: 53,625 SF

ORDINANCE NO. 2022-14
11-7-675 CONSTRUCTION STANDARDS

REQUIRED

PROVIDED

DEVELOPMENT

Kimley Horn

PROJECT INFORMATION

LIFE TIME FARMINGTON
FARMINGTON, UT

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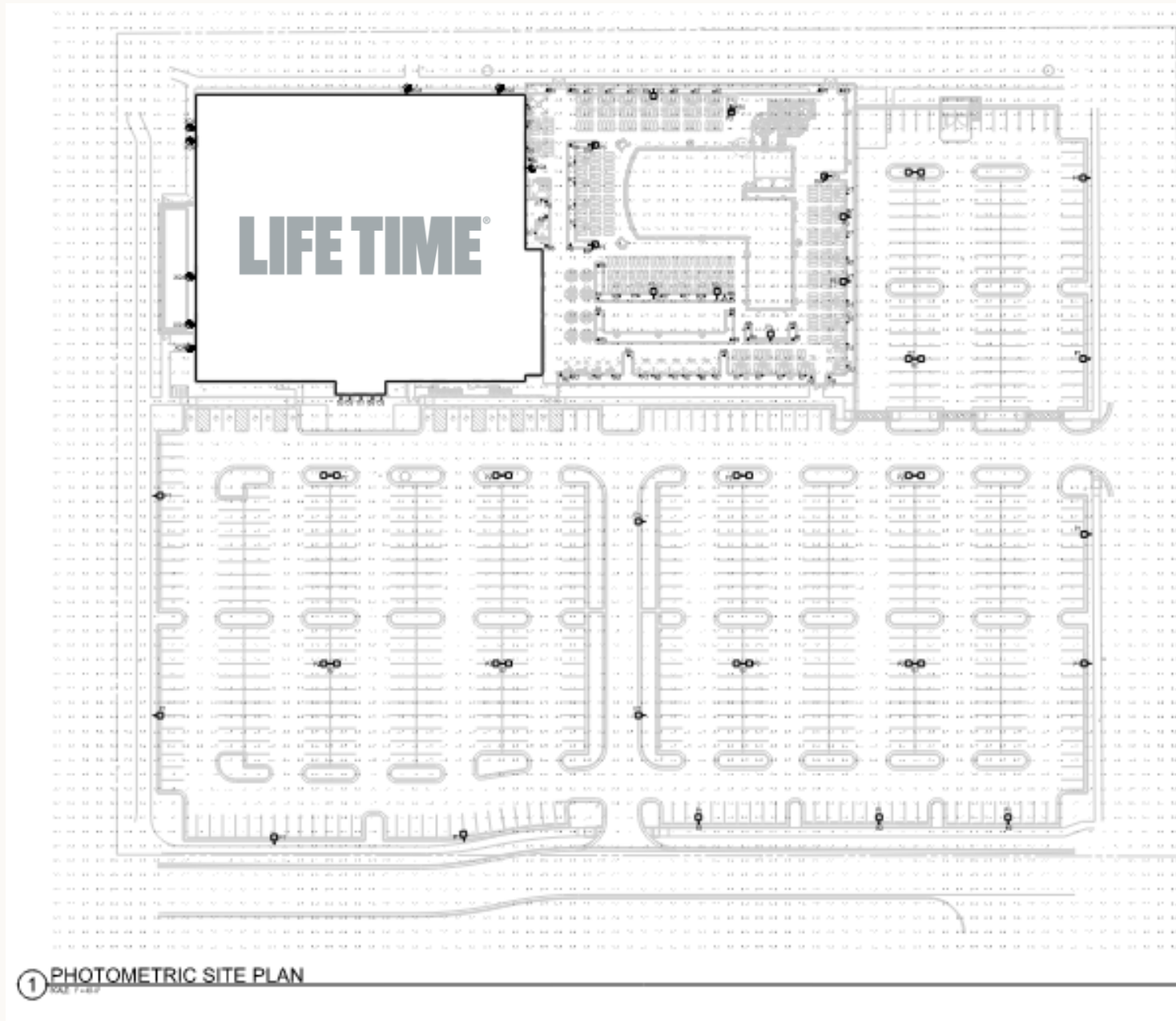
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LANDSCAPE PLAN

Site Photometric

- Provides ample lighting for members in parking lot and pool deck areas
- Meets City Code
- Down directional fixtures throughout parking lot and perimeter of site
- Landscape accent lighting at pool deck
- Coordinated with Landscape plans





Phil Holland

The Holland Group
1451 W. Burke Lane
Farmington, UT 84025

April 11, 2025

Planning Commission

Farmington City
160 S. Main Street
Farmington, UT 84025

RE: Letter of Support – LTF Real Estate Company, Inc. / Proposed Lifetime Fitness Development

Dear Members of the Planning Commission,

I am writing to express my full support for the proposed development of a Lifetime Fitness facility on parcel 08-060-0074, located along 675 N and Maker Way, currently under review for site plan approval. As a local developer with an active project adjacent to the subject site, I believe this project will bring significant value and vibrancy to the area.

The proposed Lifetime Fitness aligns well with the community's vision for high-quality development and will serve as a welcome amenity to future residents and businesses alike. The scale and quality of the proposed building, along with its health and wellness focus, represent a positive investment in the neighborhood and a commitment to long-term growth and vitality.

I've had the opportunity to discuss their plans directly with the development team and have found them to be thoughtful in their approach, responsive to feedback, and mindful of how their project integrates with the broader area.

We look forward to seeing this project move forward and strongly encourage the Planning Commission to approve the site plan as proposed.

Thank you for your consideration.

Sincerely,

Phil Holland

Owner
The Holland Group



9785 South Monroe Street, Suite 100 | Sandy | Utah | 84070
T: 801.850.2040
Segohomes.com

Spencer Corbridge

CEO

Sego Homes

Sandy UT,

5/6/25

Farmington City Planning Commission

160 South Main Street

Farmington, UT 84025

RE: Letter of Support for Proposed Life Time Fitness Center in Farmington

Dear Members of the Planning Commission,

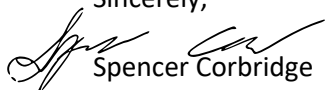
As a local homebuilder actively developing the community adjacent to the proposed Life Time Fitness center site, I am writing to express our enthusiastic support for this project.

Our company has had the unique opportunity to observe firsthand how positively our homebuyers respond upon learning that a premier fitness facility such as Life Time is planned near their new homes. This amenity has become a major selling point and adds meaningful value to the lifestyle we strive to create for our residents.

Beyond enhancing property values and homebuyer satisfaction, we believe the Life Time Fitness center will become a valuable community asset—promoting wellness, attracting high-quality development, and aligning well with the long-term vision for the area.

We give our full support to this proposal and are excited for the positive impact it will bring to Farmington. We respectfully encourage the Planning Commission and City Council to approve this project and help bring this amenity to life for current and future residents.

Sincerely,



Spencer Corbridge

Sego Homes



9785 South Monroe Street, Suite 100 | Sandy | Utah | 84070

T: 801.850.2040

Segohomes.com



Farmington City Planning Commission Staff Report May 22, 2025

Item 2: Zone Text Amendment to Chapter 11-35 - Home Occupation Permitted Uses

Public Hearing: Yes
Application No.: ZT-9-25
Applicant: Farmington City

Request: *The proposed text amendment would allow certain low impact home businesses to be considered by staff as a permitted use.*

Background Information

The Planning Commission recently reviewed a Conditional Use application for an office building in a detached structure. The Commission directed staff to consider a text amendment that would make this type of proposal a permitted use, saving time for reports, reducing time in meetings, and providing a more efficient predictable process for applicants.

Suggested Motion

Move that the Planning Commission recommend the zone text amendment to 11-35 Home Occupations.

Findings:

1. The proposed text amendment clarifies that a home occupation may conduct business off site like in the case of a handyman or landscaping business.
2. The amendment allows for more efficient processing of low impact home occupations.

Supplemental Information

1. Zone text language

11-35-010: PURPOSE:

A. It is the purpose of this chapter to establish guidelines, conditions and requirements for limited nonagricultural business activities in residential and agricultural zones. For the purpose of this chapter, "home occupation" is defined as an occupation or profession in which the associated activity or use is clearly incidental and secondary to the residential use of a dwelling unit, there is no alteration to the exterior of the dwelling unit to accommodate the occupation or profession, and such occupation or profession does not adversely affect the residential character of the surrounding neighborhood. A home occupation should be conducted in such a way that neighbors or passersby would not, under normal circumstances, be aware of its existence.

B. It is recognized that home occupations may be desirable to reduce "start up" costs for small businesses and to provide gainful employment within the community. However, if a home occupation grows to the point, or is conducted in such a manner, that the conditions of this chapter are not met, the home occupation shall cease and any continuing business shall be moved to an appropriate location in a commercial zone. (Ord. 1993-44, 12-8-1993)

11-35-020: LICENSE REQUIRED:

A. It shall be unlawful for any person or entity to engage in a home occupation in any agricultural or residential zone without first obtaining a home occupation business license to do so from the City Recorder. The procedure to be followed and applicable fees for a home occupation business license are set forth in the business licensing regulations, title 6 of this Code.

B. Businesses that do not have combined offsite impacts of the home based business and the primary residential use that exceed the impact of the residential use alone shall pay a licensing fee to cover the cost of issuing the license, as set forth in the City's consolidated fee schedule. (Ord. 2017-27, 10-3-2017)

11-35-030: CONDITIONS:

Each home occupation shall comply with all of the following conditions:

A. Residency: A home occupation must be owned and managed and all business conducted by a bona fide resident of the parcel where the license is sought. A home occupation may not be operated on a property other than the owner's residence.

B. Employees: Only family members related by blood, marriage or adoption who are bona fide residents of the dwelling unit shall be employed on said premises, except that one additional person may be employed at any one time as a secretary, computer operator, apprentice or helper where there are no more than five (5) family members actively engaged in the home occupation.

C. Exterior Modifications: No exterior architectural or structural modifications shall be made to any dwelling unit to accommodate a commercial use in the dwelling.

D. Interference With Electrical Or Mechanical Equipment: Electrical or mechanical equipment which creates visible or audible interference in radio or television receivers, or causes fluctuations in line voltage outside the dwelling units, or uses which create noise, smell, sound, light or vibration not normally associated with residential use, shall be prohibited.

E. Display Of Products: There shall be no display or sale of goods, wares or merchandise upon said premises other than those produced upon the premises. Where the home occupation involves the sale of products, such products shall generally be delivered directly to the customer.

F. Advertising Sign: One sign advertising the business may be permitted, but shall be limited to one square foot in area and shall be attached to the front face of the building or may be displayed in a window.

G. Vehicular Traffic: The home occupation shall not generate substantially greater vehicular traffic than commonly associated with residential activities in the neighborhood in which it is located.

H. Hazardous Conditions: The home occupation shall not create a hazard by using flammable materials, explosives or other dangerous or hazardous materials, or by keeping, raising or storing animals which are capable of inflicting harm or discomfort or endangering the health and safety of any person.

I. Demand For Services: The home occupation shall not create a demand for Municipal services or community facilities in excess of those usually and customarily provided for residential uses.

J. Area Usage: Not more than twenty five percent (25%) of the floor area of a dwelling may be devoted to a home occupation and/or storage of materials, equipment or stock in trade associated with the occupation, except as provided in section [11-35-040](#) of this chapter.

K. ~~Conduct Within Dwelling Incidental Use~~: The home occupation ~~shall be conducted entirely within the dwelling and~~ shall be clearly incidental, secondary and compatible to the residential use of the dwelling. ~~The home occupation shall not occupy or use any accessory building, yard space or activity outside the main building, or an attached garage to the extent that vehicle parking is displaced, unless approved by the Planning Commission as provided in section 11-35-040 of this chapter.~~

L. Foster Home, Daycare, Preschool: A foster home, child daycare center or preschool shall not have more than sixteen (16) children at one time subject to section [11-35-045](#) of this chapter.

M. Teachers: Music, dancing teachers or tutors shall be limited to not more than sixteen (16) pupils at one time subject to section [11-35-050](#) of this chapter.

N. Vehicle Size; Parking: The size of vehicles used in conjunction with a home occupation shall not exceed one ton rated capacity. Off street parking, in compliance with the provisions of this title, shall be provided for all business and private vehicles associated with a residential property.

O. Code Conformance: There shall be complete conformity with all City and State codes, including business license regulations. Depending on the type of business, periodic inspections may be made as required by these codes or as deemed necessary or desirable by the City.

P. Prohibited Uses: The following uses, among others, shall not be allowed as home occupations:

1. Barbershops and beauty salons, except for a barber or beautician who has no assistants;
2. Kennels or animal hospitals;
3. Commercial stables;
4. Restaurants;

5. Repair shops or service establishments, except for the repair of electrical appliances, typewriters, televisions, cameras or other similar small items.

11-35-040: CONDITIONAL USES:

A. Permitted Conditional Uses: The following home occupations may be allowed only upon approval of a conditional use application by the Planning Commission and issuance of a conditional use permit:

1. Uses where the applicant proposes to use more than twenty five percent (25%) of the dwelling in connection with the business.

2. Any use ~~where which requires~~ outside storage, ~~use of an accessory building or exclusive use of an attached garage is anticipated or requested in conjunction with the home occupation which is anticipated to take over garage space rendering less than the number of required parking stalls available for parking on site.~~

- a. Exception: Equipment which is normally found at a residential property such as a utility or travel trailer but which is associated with the business may be located outside so long as it is located in a manner normally associated with residential use. If outside, trailers or vehicles associated with the home occupation must be parked on a "properly designated parking space" as identified in FMC 11-32.

B. Review Standards: In evaluating a home occupation conditional use, the Planning Commission shall apply the review standards contained in chapter 8 of this title and, if applicable, site development standards contained in chapter 7 of this title.

**FARMINGTON CITY
PLANNING COMMISSION**

May 08, 2025

WORK SESSION Present: Chair Frank Adams; Vice Chair Tyler Turner; Commissioners Kristen Sherlock, George “Tony” Kalakis, Spencer Klein, and Scott Behunin. *Staff:* Community Development Director David Petersen, Assistant Community Development Director Lyle Gibson, City Planner/GIS Specialist Shannon Hansell, and Planning Secretary Carly Rowe. **Excused:** Commissioner Joey Hansen and Alternate Commissioner Brian Shepard.

Assistant Community Development Director **Lyle Gibson** spoke of the Development Agreement process, density, and the NMU district related to an anticipated upcoming public hearing. A potential sale to the Boyer Company would likely result in a Development Agreement.

City Planner **Shannon Hansell** said four or five of the single-family residential zones cover most of the City's east side. The minimum lot size in most zones are half an acre or smaller. The zone text amendment considered tonight is for lots 0.4 to 0.49 acres in size in the agricultural and residential zones. Language for accessory buildings in agricultural zones are more flexible. The ask is for a 0.48-acre lot with a 30-foot setback area. An accessory building can cover up to 25% of the required rear yard. The zone text amendment is asking to increase the amount of area that the accessory dwelling can take up in the required rear yard with a special exception. This would only apply to about 1,000 out of 10,000 lots in Farmington. Buildings in agricultural zones could go up to 25 feet as long as they are 5 feet away from the property line. In regular residential zones, it is 15 feet if they are 5 feet away from the property line. If it is 1 foot from the property line, it can only be 10 feet tall. The accessory building can never be taller than the main dwelling.

REGULAR SESSION Present: Chair Frank Adams; Vice Chair Tyler Turner; Commissioners Kristen Sherlock, George “Tony” Kalakis, Spencer Klein, and Scott Behunin. *Staff:* Community Development Director David Petersen, Assistant Community Development Director Lyle Gibson, City Planner/GIS Specialist Shannon Hansell, and Planning Secretary Carly Rowe. **Excused:** Commissioner Joey Hansen and Alternate Commissioner Brian Shepard.

Chair **Frank Adams** opened the meeting at 7:00 pm.

CONDITIONAL USE APPLICATION – *public hearings (1)*

Item #1: David Howes – Applicant is requesting approval for a conditional use permit for a home occupation that uses space outside of the main dwelling; the request is to allow office use limited to the resident, in the detached barn building, at 612 S. 650 W. in the AE (Agricultural Estates) zone.

Assistant Community Development Director **Lyle Gibson** presented this item. Typically, someone applying for a Home Occupation type business license can receive approval from City Staff when they are seeking to run an office from their home. As this request seeks to use the barn on their property, it requires consideration by the Planning Commission.

Applicant and property owner **Russin Howes** addressed the Commission and said that she and her husband, **David**, recently took over the full family business after 53 years, and they would like to use their current barn for the office-side of the business.

The applicant's description as included in the Staff Report is this: “We are requesting a conditional use permit to utilize the barn located on our residential property in Farmington as the main office for our LLC (A & H Sign Company LLC). This office will be used solely for administrative purposes, and (applicant) David Howes will be the only employee working at this location. All sign production, sales, and additional employees will continue to operate from our commercial facility in South Salt Lake at 188 W. 2950 S. (A & H Signs). A & H Signs has been in business for 53 years. We are requesting this new administrative location as David transitions from labor to administrative work within the Company. Thank you for your consideration.”

Applicable codes below:

11-35-030: CONDITIONS:

K. Conduct Within Dwelling: The home occupation shall be conducted entirely within the dwelling and shall be clearly incidental, secondary and compatible to the residential use of the dwelling. The home occupation shall not occupy or use any accessory building, yard space or activity outside the main building, or an attached garage to the extent that vehicle parking is displaced, unless approved by the Planning Commission as provided in section [11-35-040](#) of this chapter.

11-35-040: CONDITIONAL USES:

A. Permitted Conditional Uses: The following home occupations may be allowed only upon approval of a conditional use application by the Planning Commission and issuance of a conditional use permit:

1. Uses where the applicant proposes to use more than twenty five percent (25%) of the dwelling in connection with the business.
 2. Any use where outside storage, use of an accessory building or exclusive use of an attached garage is anticipated or requested in conjunction with the home occupation.
- B. Review Standards: In evaluating a home occupation conditional use, the Planning Commission shall apply the review standards contained in chapter 8 of this title and, if applicable, site development standards contained in chapter 7 of this title.

11-8-050: CONDITIONAL USE STANDARDS:

Conditional use applications shall be reviewed in accordance with, and shall conform to, all of the following standards:

- A. Necessity: The proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general wellbeing of the community;
- B. Compliance: The proposed use shall comply with the regulations and conditions in this title for such use;
- C. Comprehensive Plan: The proposed use shall conform to the goals, policies and governing principles of the comprehensive plan for Farmington City;
- D. Compatibility: The proposed use shall be compatible with the character of the site, adjacent properties, surrounding neighborhoods and other existing and proposed development;
- E. Adequate Improvements: Adequate utilities, transportation access, drainage, parking and loading space, lighting, screening, landscaping and open space, fire protection, and safe and convenient pedestrian and vehicular circulation are available or may be provided; and
- F. Use Not Detrimental: Such use shall not, under the circumstances of the particular case, be detrimental to the health, safety or general welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity. A proposed use shall be considered detrimental:
 1. If it will cause unreasonable risks to the safety of persons or property because of vehicular traffic or parking, large gatherings of people, or other causes;
 2. If it will unreasonably interfere with the lawful use of surrounding property; or
 3. If it will create a need for essential municipal services which cannot be reasonably met.

Frank Adams opened the public hearing at 7:03 PM.

Don Francis (578 S. 650 W., Farmington, Utah) owns the property north and adjacent to the property in question. He would like to know what business would be run out of the barn, and didn't get notice about this. He would like to know if there would be any production going on in the barn. They formerly ran a dog breeding business out of the barn, which was not allowed by City ordinance.

Linda Francis (578 S. 650 W., Farmington, Utah) said the applicants have had many businesses there and she hopes it is not misrepresented.

Frank Adams closed the public hearing at 7:10 PM.

Russin Howes indicated that there were dogs at the property in the past, but that is not what this request is for. She is a dog-trainer and behaviorist. No sign production would be going on in the barn.

Gibson said annual inspections of home businesses are not done, but if the City hears about something that is concerning, they will go check it out. Since it is licensed, the City would have the ability to issue fines or revoke the license if it is not conducted according to their application. Code enforcement is always an option as well. The license is renewed annually.

MOTION:

Kristen Sherlock made a motion that the Planning Commission approve the requested Conditional Use application allowing the barn to be used as an office as described in this report, and with the applicable code conditions and conditional uses and standards 11-35-030, 11-35-040, and 11-8-050.

Findings 1:

1. The proposed use meets all other applicable standards and will not create additional impact which would require conditions for mitigation.

Supplemental Information 1:

1. Vicinity Map

Tyler Turner seconded the motion, which was unanimous.

Chair Frank Adams	X Aye ____ Nay
Vice Chair Tyler Turner	X Aye ____ Nay
Commissioner Kristen Sherlock	X Aye ____ Nay
Commissioner Spencer Klein	X Aye ____ Nay
Commissioner George "Tony" Kalakis	X Aye ____ Nay
Commissioner Scott Behunin	X Aye ____ Nay

ZONE TEXT APPLICATION – public hearings (2)

Item #2: Farmington City – Applicant is requesting a recommendation for a zone text amendment to Section 11-11-060: Accessory Buildings and Structures; for the purpose of modifying the rear yard coverage limitations and allowing for consideration of additional coverage as a Special Exception.

City Planner **Shannon Hansell** presented this item. The applicants are seeking recommendation for approval of a zone text amendment to 11-11-060 Accessory Buildings and Structures, which adds a special exception option to increase accessory building coverage of the required rear yard.

The required rear yard refers to the area of the rear yard which is considered as part of the rear yard setback. The rear yard setback for conventional lots in the single-family residential zones is 30 feet. Accessory building standards are described by 11-11-060 of the Single-Family Residential Zones chapter. These standards include limitations to the percentage of the required rear yard that may be covered by accessory buildings.

Currently, accessory buildings may cover up to 25% of the required rear yard. On larger lots, there can be an excess of rear yard space outside of the required rear yard. However, this space is not encumbered by the percentage requirement, so accessory buildings can extend into this area. Required rear yard space is limited in coverage by the ordinance in part because on smaller lots, most of the rear yard is the required rear 30 feet. For efficient use of space, and for the sake of flexibility, many accessory buildings are placed near the rear property line. On larger lots, the required rear yard limitation limits the usable accessory building area, as opposed to smaller lots where the 25% coverage limit prevents crowding, view impediment, air flow, and open sky. The zone text amendment proposes a special exception option for lots greater than 0.4 acres in size. In considering a Special Exception, FCC 11-3-045 E identifies the standards of review:

11-3-045 E. Approval Standards: The following standards shall apply to the approval of a special exception:

1. Conditions may be imposed as necessary to prevent or minimize adverse effects upon other property or improvements in the vicinity of the special exception, upon the City as a whole, or upon public facilities and services. These conditions may include, but are not limited to, conditions concerning use, construction, character, location, landscaping, screening, parking and other matters relating to the purposes and objectives of this title. Such conditions shall be expressly set forth in the motion authorizing the special exception.
2. The Planning Commission shall not authorize a special exception unless the evidence presented establishes the proposed special exception:
 - a. Will not be detrimental to the health, safety or general welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity;
 - b. Will not create unreasonable traffic hazards;
 - c. Is located on a lot or parcel of sufficient size to accommodate the special exception.

Applicant and general contractor **Jared Kay** addressed the Commission via Zoom. He indicated that his client wants to build a detached building for garage and storage space for cars, bikes, etc. This ordinance would offer an opportunity for consideration of his proposal.

Frank Adams opened and closed the public hearing at 7:18 PM.

MOTION:

Tyler Turner made a motion that the Planning Commission recommend that the City Council approve the zone text amendment to 11-11-060 Accessory Buildings and Structures, subject to all applicable Farmington City development standards and ordinances.

Findings 1-7:

1. Existing conditions would not change for the majority of single-family residential lots.
2. The proposed amendment allows owners to place buildings in a typical and expected manner on their lots, providing for more flexibility.

3. On lots in Agricultural zones, which may access the single-family residential standards per 11-10-040 H 1b, total lot coverage standards begin applying at 0.5 acres, which would limit those cases to what is permitted per 11-10-040 C. In short, the zone text amendment only affects agricultural and single-family residential parcels between 0.41-0.49 acres.
4. The Planning Commission retains discretion over individual cases which meet the specific criteria for a special exception for accessory building and structure coverage standards.
5. The proposed amendment is reasonably necessary for the reasons stated in the enclosed report.
6. The proposed amendment is in the public interest, as it does not affect the majority of parcels within Farmington City, and increases flexibility for others.
7. The proposed amendment is consistent with the city general plan and in harmony with the objectives and purpose of the zoning ordinance.

Supplemental Information 1:

1. Zone text language

Kristen Sherlock seconded the motion, which was unanimous.

Chair Frank Adams	X Aye ____ Nay
Vice Chair Tyler Turner	X Aye ____ Nay
Commissioner Kristen Sherlock	X Aye ____ Nay
Commissioner Spencer Klein	X Aye ____ Nay
Commissioner George "Tony" Kalakis	X Aye ____ Nay
Commissioner Scott Behunin	X Aye ____ Nay

Item #3: Farmington City – Applicant is requesting a recommendation for zone text amendments to Chapter 11-17 of the Zoning ordinance related to alternative lot standards, setbacks, and additional lot criteria, and building height special exceptions--and a zone text amendment to Chapter 11-2-020 clarifying the definition for building height. (ZT-7-25).

Community Development Director **David Petersen** presented this item. Applicant requests zone text amendments to Chapter 11-17 of the Zoning ordinance related to alternative lot standards, setbacks, and additional lot criteria, and building height special exceptions--and a zone text amendment to Chapter 11-2-020 clarifying the definition for building height.

In 2020, everyone was required to make 10% of their housing stock moderate-income housing. In single-family and agricultural zone, there are other things to consider. In this zone, there was never such things. Staff would like to include the preservation of historic resources as well. State law requires incentives to be offered for moderate-income housing. Therefore, the section didn't meet State law. The proposed changes would make the OTR on equal footing with how the other zones are handled. Originally, the OTR didn't reference the building heights of main buildings, but the proposed language cleans that up.

Frank Adams opened and closed the public hearing at 7:18 PM.

MOTION:

Spencer Klein made a motion that the Planning Commission recommend the City Council approve the following zone text amendments to Chapter 11-17 of the Zoning Ordinance titled "Original Townsite Residential Zone (OTR)" and Chapter 2-2 "Definitions," subject to all applicable Farmington City development standards and ordinances.

[Note: No modifications are proposed to Section 11-17-040, but it is part of the proposed changes below to provide context for the recommended amendment].

Findings 1-4:

1. Section 11-17-035 of the Zoning Ordinance requires a subdivider to "provide or set aside lots (or dwelling units at the option of the City) equal in number to at least ten percent (10%) of the total number of lots approved for the subdivision for moderate income housing . . .". This is in violation of 10-9a-535 of the State Code because Section 11-17-035 does not provide an incentive. The proposed text amendment deleting Section 11-17-035 and adding Section 11-17-045 ensures that the Farmington OTR ordinance is consistent with State Law [Note: The incentive offered in the new section is greater lot flexibility (i.e. lot area, setbacks, etc.) for the property owner].
2. The new Section—11-17-045 mirrors language incorporated in the residential and agriculture chapters of the Zoning Ordinance.
3. In addition to moderate income housing, Section 11-17-045 also provides an incentive option for preserving an historic resource. Many such resources exist in the OTR zone.

4. The new Section 11-17-045 is better placed in the overall text of the Chapter than 11-17-035 because the alternatives to the "standard", should come after the standards in Section -11-17-040.

Housekeeping items

5. A special exception to main building height is allowed in the single-family and agriculture chapters the Zoning Ordinance, but not in the OTR zone. The proposed zone text amendment rectifies this discrepancy.
6. Discounting the ground elevation in front of doors helps builders better meet the City's building height definition and makes no difference to the overall height of the building related to the rest of the finished grade.

Proposed Amendments:

11-17-035: MODERATE INCOME HOUSING:

- A. ~~Minimum Requirement: Subdividers must provide or set aside lots (or dwelling units at the option of the City) equal in number to at least ten percent (10%) of the total number of lots approved for the subdivision for moderate income housing subject to recording a deed restriction(s) to ensure the required number of lots or units are available for a qualifying moderate income household; unless, at the sole discretion of, and by agreement with the City, the subdivider provides:~~
- ~~1. Open space; or~~
 - ~~2. A fee in lieu thereof determined in consideration of factors set forth in Section 11-28-270 of this Title; or~~
 - ~~3. Some other public benefit; or~~
 - ~~4. A combination of 1, 2, and 3 above.~~
- B. ~~Exemption: Subdivisions resulting in two (2) or fewer additional lots are exempt from the minimum moderate-income housing requirements of this Section.~~
- C. ~~Additional Lots: The City Council may approve additional lots than what is conventionally allowed in the underlying zone as an incentive to a subdivider to provide moderate income housing.~~

11-17-040: MINIMUM LOT AND SETBACK STANDARDS:

- A. Minimum Standards: The following shall be the minimum lot areas, widths and main building setbacks in the OTR Zone:

Zone	Lot Area	Lot Width		Front	Side	Side Corner	Rear
		Interior	Corner				
OTR	10,000 square feet for each single-family	85'	95'	30'	10'	20'	30'
* Buildings may not be built over utility easements that may run along the side and rear property lines, unless an exception is provided from the zoning administrator with the consent of the City's Development Review Committee and other applicable utility providers in writing.							

- B. Class B Animals: Class B animals are permitted in the OTR zone only if the area of the lot is twenty thousand (20,000) square feet or larger. Class B animals shall be limited to not more than one horse or cow and not more than two (2) sheep or goats for each twenty thousand (20,000) square feet of a lot.
- C. Public Uses and Utility Installations: Public uses, public utility installations and quasi-public uses are only allowed on lots less than forty thousand (40,000) square feet in size.
- D. Special Standards for Lot Width: Certain large, wide and deep lots presently exist in the OTR zone. City records show that between 1969 and 1986, the minimum lot width in the original townsite area was seventy feet (70'). Furthermore, for all the years prior to World War II, no minimum lot width or lot size standards existed at all in the original townsite area. Consequently, scores of lots exist in this area with frontages less than eighty-five feet (85') in width. The purpose of this section is to provide special standards for narrower lot width for the subdivision of large, wide lots located in the OTR zone. A property owner may subdivide a parcel of land in the OTR zone resulting in a lot width less than the minimum requirement set forth herein so long as the following standards are met:
1. Any new construction on the building lot created therefrom, shall conform to the new construction design guidelines contained herein.
 2. The reduction in lot width shall not exceed fifteen feet (15').
 3. The lot size must meet the minimum standard lot size described herein.
 4. The lot, and any use proposed for the lot, shall comply with the minimum setback standards set forth herein, and standards related thereto set forth in chapter 28 of this title.
 5. Any structures existing prior to the subdivision shall meet the setback requirements set forth in this chapter within the new subdivision.
- E. Flag Lots: Flag lots, as defined by this code, shall be prohibited in the OTR zone

11-17-045: ALTERNATIVE LOT AND SETBACK STANDARDS, AND ADDITIONAL LOTS

- A. Alternative Standards: Following the subdivision yield plan defined in Chapter 11-2 and using the minimum standards of subsection 11-17-040A to establish a maximum number of lots, a subdivider may alter the lot area, width, and side and side corner setbacks of lots for main buildings within a subdivision using standards for the LR zone delineated in subsection 11-12-090, if the subdivider, at the sole discretion of, and by agreement with the City, implements one of the following public benefits:
1. Provide or set aside lots (or dwelling units at the option of the City) equal in number to at least ten percent (10%) of the total number of lots approved for the subdivision (or an alternative proposal acceptable to the City if the subdivision is less than 10 lots) for moderate income housing subject to recording a deed restriction(s) to ensure the required number of lots or units are available for a qualifying moderate-income household, or pays a fee in lieu thereof for moderate income housing determined in consideration of factors set forth in Chapter 11-28 of this Title; or
 2. Preserve an existing on-site historic resource (standards for historic resources are set forth in Chapter 11-39 of this Title); or
 3. Create open space; or
 4. Establish some other public benefit; or
 5. Provide a combination of 1, 2, 3, and/or 4 above.
- B. Additional Lots: The City Council may approve additional lots than what is conventionally allowed in the underlying zone as an incentive to a subdivider to provide a public benefit.

11-17-070: NEW CONSTRUCTION DESIGN GUIDELINES:

F. Building Height:

1. New main building height should be similar to those found historically in the vicinity, and shall not exceed twenty seven feet (27') in height; unless the Planning Commission approves an increased height after review of a special exception application filed by the property owner per section 11-3-045;

11-2-020: DEFINITIONS OF WORDS AND TERMS:

BUILDING OR STRUCTURE HEIGHT:

- A. The vertical distance above a reference datum measured to the highest point of the coping of a flat roof or mansard roof, or to the midpoint of the highest gable of a pitched, hipped or shed roof, or to a point two-thirds ($\frac{2}{3}$) the height of a quonset, parabolic or round roof. The reference datum shall be selected by either of the following, whichever yields a greater height of building:
 1. The elevation of the highest adjoining sidewalk or ground surface within a five foot (5') horizontal distance of the exterior wall of the building when such sidewalk or ground surface is not more than ten feet (10') above lowest grade of the building, except where such lowest grade is directly in front of a door.
 2. An elevation ten feet (10') higher than the lowest grade of the building, except where such lowest grade is directly in front of a door, when the sidewalk or ground surface described in subsection A1 of this definition is more than ten feet (10') above such lowest grade of the building.

Supplemental Information: State Code Effective 5/4/2022 –10-9a-535. Moderate income housing.

- (1) A municipality may only require the development of a certain number of moderate income housing units as a condition of approval of a land use application if:
 - (a) the municipality and the applicant enter into a written agreement regarding the number of moderate-income housing units; or
 - (b) the municipality provides incentives for an applicant who agrees to include moderate income housing units in a development.
- (2) If an applicant does not agree to participate in the development of moderate income Housing Units Under Subsection (1)(a) or (b), a municipality may not take into consideration the applicant's decision in the municipality's determination of whether to approve or deny a land use application.
- (3) Notwithstanding Subsections (1) and (2), a municipality that imposes a resort community sales and use tax as described in Section 59-12-401, may require the development of a certain number of moderate income housing units as a condition of approval of a land use application if the requirement is in accordance with an ordinance enacted by the municipality before January 1, 2022.

Kristen Sherlock seconded the motion, which was unanimous.

Chair Frank Adams

X Aye ____ Nay

Vice Chair Tyler Turner	X Aye ____ Nay
Commissioner Kristen Sherlock	X Aye ____ Nay
Commissioner Spencer Klein	X Aye ____ Nay
Commissioner George "Tony" Kalakis	X Aye ____ Nay
Commissioner Scott Behunin	X Aye ____ Nay

OTHER BUSINESS

Item #4: City Council Reports, Approval of Minutes, Upcoming Items & Trainings

- a. Planning Commission Policies and Procedures
 - **Gibson** said the Commission can adjust their policies and procedures to allow agendas to reflect explanations and adjusting the order of business. The City Attorney suggested the changes be officially made. For efficiency sake, the typical order of business can be adjusted to accommodate significant public interest.
 - **Tyler Turner** made a motion that the Planning Commission send a recommendation to the City Council to approve the update to the Planning Commission Policies and Procedures as included with the Staff report, including Supplemental Information 1. Policies and Procedures with redlines showing proposed update. **Kristen Sherlock** seconded the motion.
- b. Planning Commission Minutes Approval: 04.10.2025
 - **Tony Kalakis** made a motion to approve the minutes. **Scott Behunin** seconded the motion.
- c. City Council Report: 05.06.202d
 - **Gibson** said the City Council adopted the tentative budget for Fiscal Year 2026 to begin July 1, 2025. No property tax increase is proposed this year.
- d. **Gibson** said the next Commission meeting will be May 22, 2025, at 6:30 p.m.

ADJOURNMENT

Tyler Turner motioned to adjourn at 7:34 PM.

Chair Frank Adams	X Aye ____ Nay
Commissioner Spencer Klein	X Aye ____ Nay
Commissioner Brian Shepard	X Aye ____ Nay
Commissioner Joey Hansen	X Aye ____ Nay
Commissioner George "Tony" Kalakis	X Aye ____ Nay
Commissioner Scott Behunin	X Aye ____ Nay

Frank Adams, Chair

CITY COUNCIL MEETING NOTICE AND AGENDA

Notice is given that the Farmington City Council will hold a regular meeting on **Tuesday, May 20th, 2025** at City Hall 160 South Main, Farmington, Utah. A work session will be held at 6:00 pm in Conference Room 3 followed by the regular session at 7:00 pm in the Council Chambers. The link to listen to the regular meeting live and to comment electronically can be found on the Farmington City website www.farmington.utah.gov. If you wish to email a comment for any of the listed public hearings, you may do so to dcarlile@farmington.utah.gov

WORK SESSION – 6:00 p.m.

- Consolidated Fee Schedule Discussion
- Park naming discussion

REGULAR SESSION – 7:00 p.m.

CALL TO ORDER:

- Invocation – Alex Leeman, Councilmember
- Pledge of Allegiance – Roger Child, Councilmember

PRESENTATIONS:

- Musical number by Pizzicato

Motion adjourning to the Local Business Authority meeting. (See LBA Agenda)

Motion to reconvene the City Council Meeting

BUSINESS:

- I-15 Reconstruction Master Agreement
- Multiple Zone Text amendments to chapter 11-17 Section 11-2-020
- Zone Text amendment allowing for the consideration of accessory structures in the rear yard as a Special Exception.

SUMMARY ACTION:

1. Monthly Financial Report
2. Resolution updating the Policies and Procedures of the Farmington City Planning Commission
3. Interlocal Agreement for Fire Protection Services in Fruit Heights
4. Approval of Minutes 05.06.25

GOVERNING BODY REPORTS:

- City Manager Report
- Mayor Anderson & City Council Reports

ADJOURN

CLOSED SESSION – Minute motion adjourning to closed session, for reasons permitted by law.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations due to a disability, please contact DeAnn Carlile, City recorder at 801-939-9206 at least 24 hours in advance of the meeting.

I hereby certify that I posted a copy of the foregoing Notice and Agenda at Farmington City Hall, Farmington City website www.farmington.utah.gov and the Utah Public Notice website at www.utah.gov/pmn. Posted on May 15, 2025